



Shawlands Bowling Club - Proposed Residential Development

Design and Access Statement

May2021



Architects

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Section 1

Introduction

1.0 Introduction

1.1 Information

Project

Shawlands Bowling Club
Proposed Residential Development
Glasgow

Site Address

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Glasgow
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1.2 The Project

This design statement has been prepared by Holmes Miller architects on behalf of Kelvin Properties to accompany the planning application for the construction of a residential development on the site of an unused bowling green and the alterations to the existing clubhouse and surrounding grounds.

Permission was granted to construct the development in 1 April 2021 [Planning Application Reference: 18/03081/FUL. Review Reference Number: 20/00011/LOCAL]. This application seeks to obtain permission for the development with the addition of two commonly accessible roof terraces behind parapets that were part of the original application. No other alterations are proposed in this application.

The report outlines the design process and principles that have informed the development proposal and has been prepared in line with statutory requirements.

It is proposed to demolish a portion of the existing clubhouse, refurbish the retained element, and develop a portion of land for residential use. The land to be developed consists of the north eastern bowling green and the area immediately surrounding it. Due to falling club memberships and a reduced participation in club activities there has been a steady decline in inward investment for the club, which has resulted in a continuous reduction in the quality of club facilities on offer. The club currently barely breaks even on annual membership subscriptions, function hire and rental income from a Vodafone telecommunications mast.

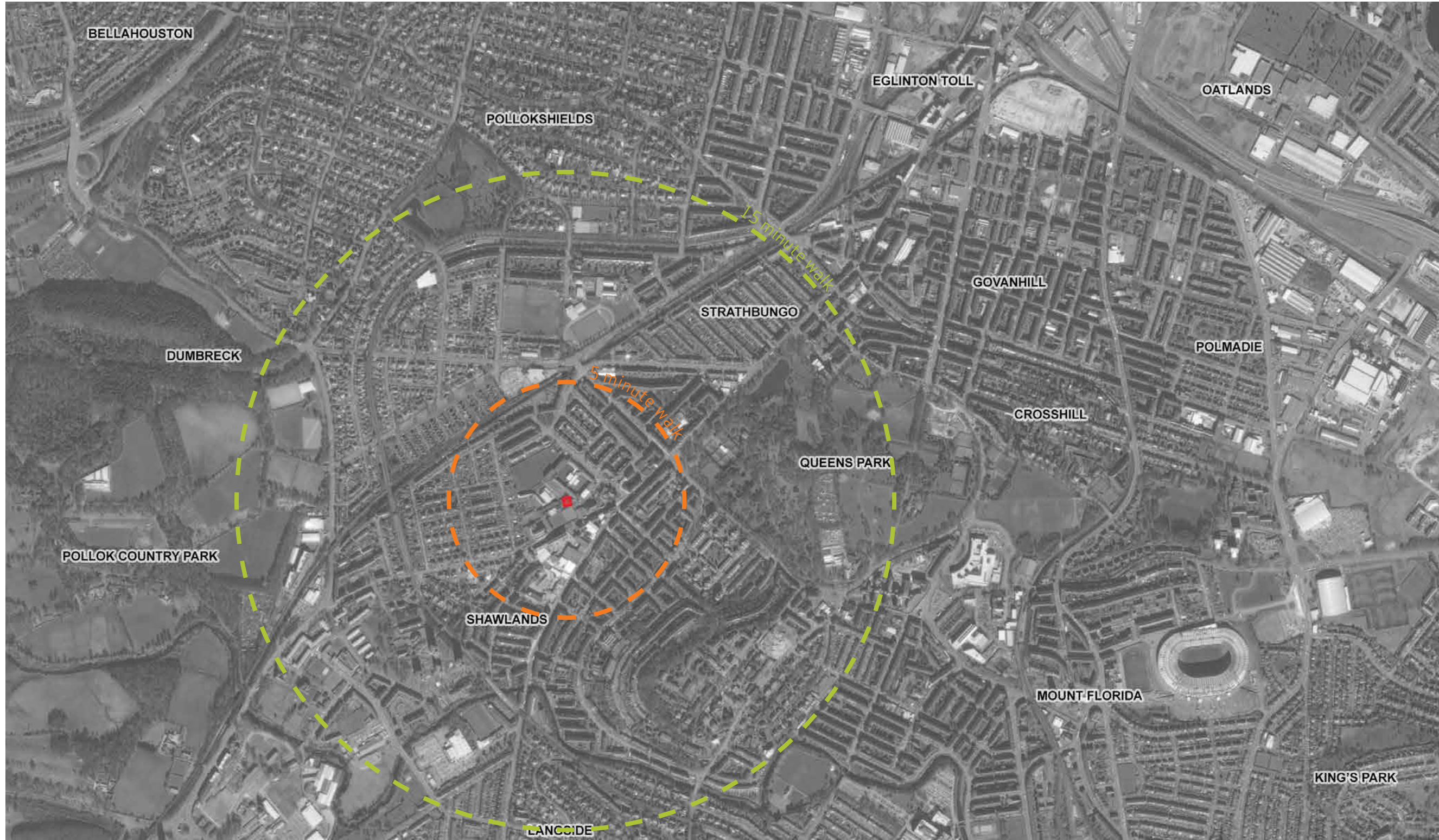
The north eastern bowling green is no longer in use, and the maintenance and upkeep has become an unaffordable financial burden for the club. The proposed portion of the club house to be demolished (the old function room), lies unused throughout winter, as the club can no longer afford to heat it. The club are keen to carry out essential upgrades to the club facilities, as well as secure the long term future of the Shawlands Bowling Club. For these reasons the club committee have decided to release an unused parcel of land for development. The money received from the sale will be re-invested into the club by refurbishing the clubhouse and grounds, ensuring the 156 year old club is not lost from the Shawlands community.

Section 2

Site Details

2.1 The Location

Location in relation to Central Glasgow



2.2 The Context

The existing site



2.3 The Site

Aerial View



The site is located on Pollokshaws Road in the Shawlands area of South Glasgow. The development site currently sits within the curtilage of Shawlands Bowling Club, taking up a disused bowling green and shrubland.

The site is bounded by Shawlands Academy to the north; Destiny Church to the east, Pollokshaws Road to the south and a bowling green to the west. There is currently a telecommunications transmitter disguised as a flag mast to the south west of the site which is to be retained.

The site is located within a bustling community with well established housing, public amenities, parkland and various travel links, including Shawlands Train Station within short walking distance.



Existing Site Plan



2.4 Site History

Shawlands Bowling Club is located within Glasgow's Pollokshields ward 2 miles to the south of the city centre. Up until the late 19th century Shawlands consisted of rows of cottages along Pollokshaws Road and Kilmarnock Road and a few buildings situated on farmland between the village of Crossmyloof and the town of Pollokshaws.

The bowling club was formed in 1862, originally located in Eastwood Avenue before moving to Pollokshaws Road in 1892. The new greens were opened by Sir John Stirling Maxwell, who patronised the club from the late-19th century to the mid-20th century.

Glasgow was a place of exceptional economic buoyancy and urban growth during the mid to late 19th century. The area of Shawlands experienced this burst in development during the mid 19th century.

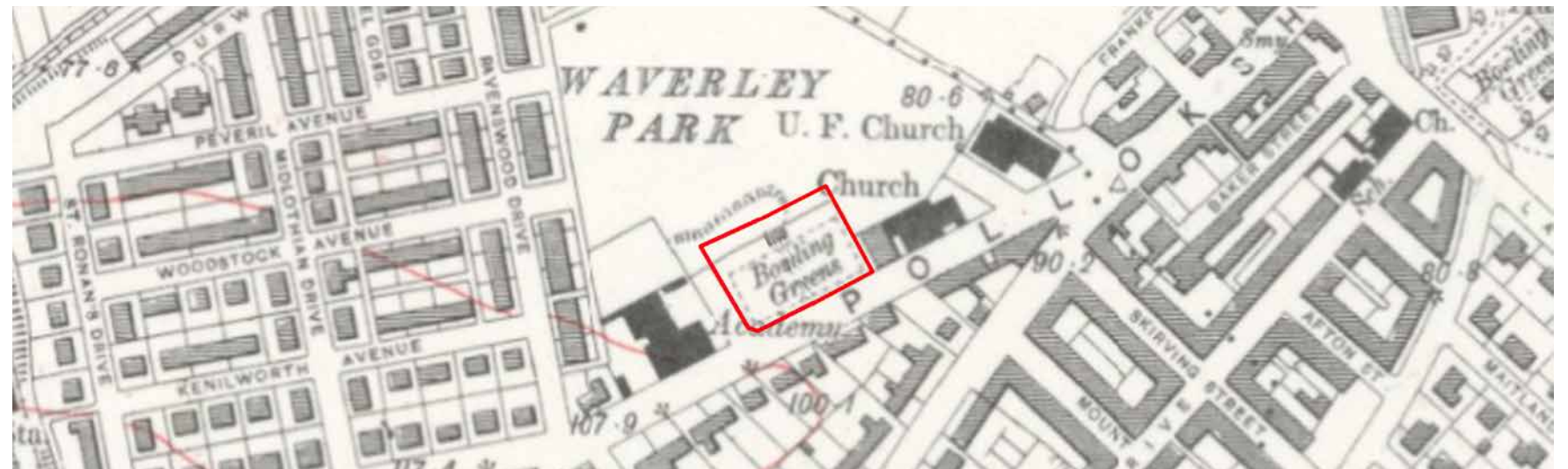
During this period the number of inhabitants in the area almost doubled as a result of the formation of many industrial and creative enterprises, and with the urban sprawl from the city centre reaching its boundaries. This led to huge large amounts of housing and public facilities being constructed and better transport links being constructed. The transport links to Shawlands by train.



Shawlands Cross - 2018



Shawlands Cross - 1895



Shawlands Cross - 1915



Shawlands Cross - 1949

2.5 Existing Site Photographs



Looking East Across Disused Bowling Green



Looking East from Clubhouse Entrance



Existing Clubhouse



Overgrown Shrubs to North East



Overgrown Shrubs to North East



Looking North Across Retained Bowling Green

Section 3

Site Appraisal

3.1 Context



- Residential ■
- Residential & Commercial ■
- Commercial ■
- School ■
- Ecclesiastical ■

The site is located to the south of Glasgow City Centre within a predominantly residential area. The Shawlands area also consists of a wide and vibrant mix of cafes, restaurants, pubs, shops and churches. The area has an approximate population of 7015 people

The area consists mainly of tenement flats, but also includes two-storey terraced cottages and a small number of detached and semi-detached houses. The site is located in close proximity to several landmarks such as Shawlands Cross, Queens Park and Hampden Park, Scotland's national Football Stadium.

The majority of the commercial properties are located along Kilmarnock Road, although there are many instances of mixed-use properties in close proximity to the site.

3.2 Identity



- 1-2 Storeys ■
- 3-4 Storeys ■
- 5+ Storeys ■

Shawlands is located less than 2 miles from Glasgow City Centre. The area has a mix of building typologies as a result of the varied mix of housing and commercial facilities present.

A traditional sandstone school building, a church, traditional Glasgow tenements and a modern flatted development are directly adjacent to the site. The massing of these neighbouring buildings varies from 3-4 stories on the traditional tenement blocks, 6 stories on the adjacent flatted development, 3-4 stories on the church and school buildings on either side of the development site.

The scale of the proposed development has been carefully considered to ensure that the character and integrity of the area is maintained.

3.3 Connection



Public Transport Accessibility - December 2015

- High Accessibility Peak
Buses 12+ per hour (300m + 100m catchment)
Trains 6+ per hour (500m + 100m catchment)
Subway 12+ per hour (500m + 100m catchment)
- Base Accessibility Peak
Buses 6+ per hour (300m + 100m catchment)
Trains 2+ per hour (500 metres + 100m catchment)
- Glasgow City Centre
- Inner Urban Area

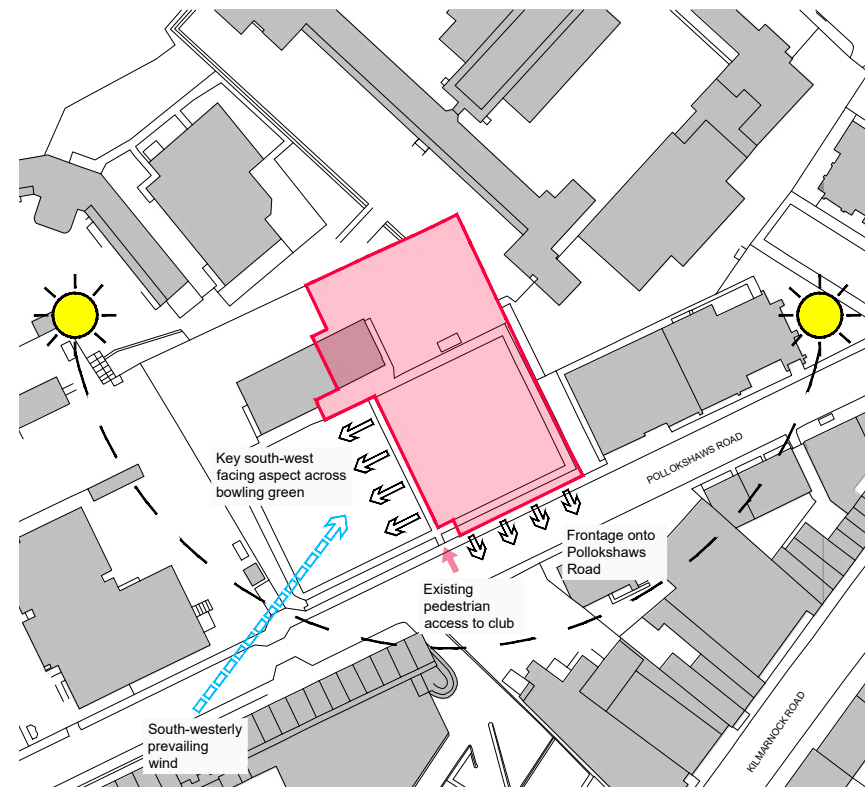
Source: Strathclyde Partnership for Transport Data, December 2015

The site benefits from having excellent linkage to a range of public transport hubs which are serviced regularly and provide direct connections to the city centre and beyond. The site is also in close proximity to Glasgow's major road infrastructure and is highlighted as being located within Glasgow City's High Accessibility Peak Zone as illustrated above, and also Glasgow's Outer Urban Area.

Shawlands train station is located to the west of the site and is a 7 minute walk away (600m), whilst there are 6 bus stops within a 250m radius running north to south across the city and vice versa.

The bowling club site has a single pedestrian access point from Pollokshaws Road which will remain in the proposed development.

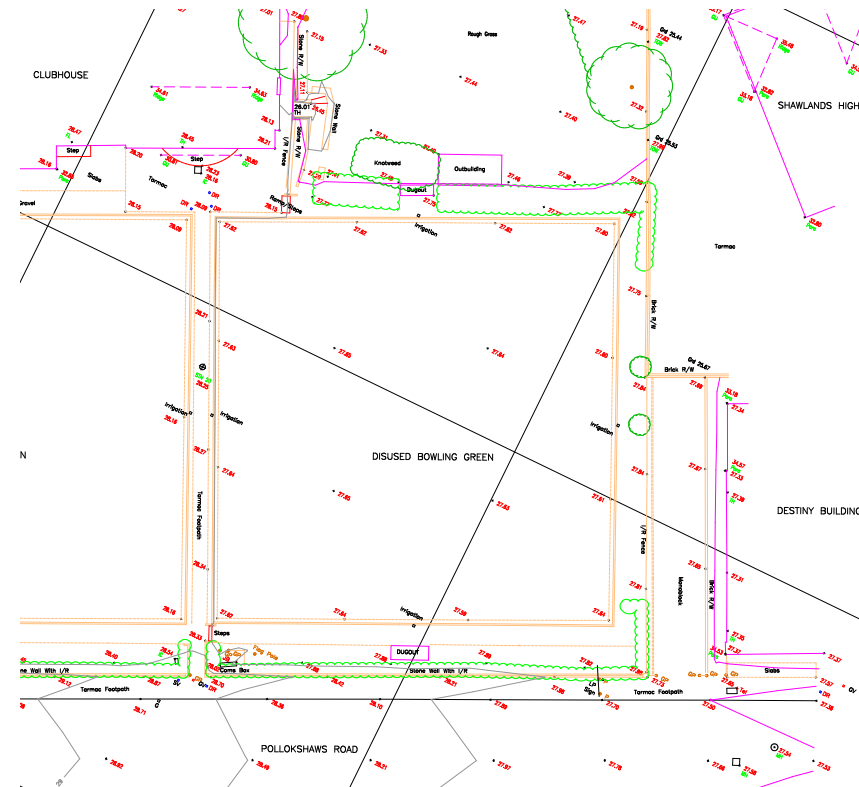
3.4 Orientation



The site is orientated on a northwest - southeast axis and it is intended that the new proposed development maintains this. The south-west facing elevation will benefit from the warmth of the sun as well as a high quality aspect across the bowling green. The south-east facing elevation will provide a frontage onto Pollokshaws Road. The design has been developed to maximise these aspects with the use of terraces and full height windows with juliet balconies.

The clubhouse is currently accessed via a pedestrian pathway off Pollokshaws Road. The proposed development intends to maintain this access whilst providing a new private vehicular access for residents also off Pollokshaws Road.

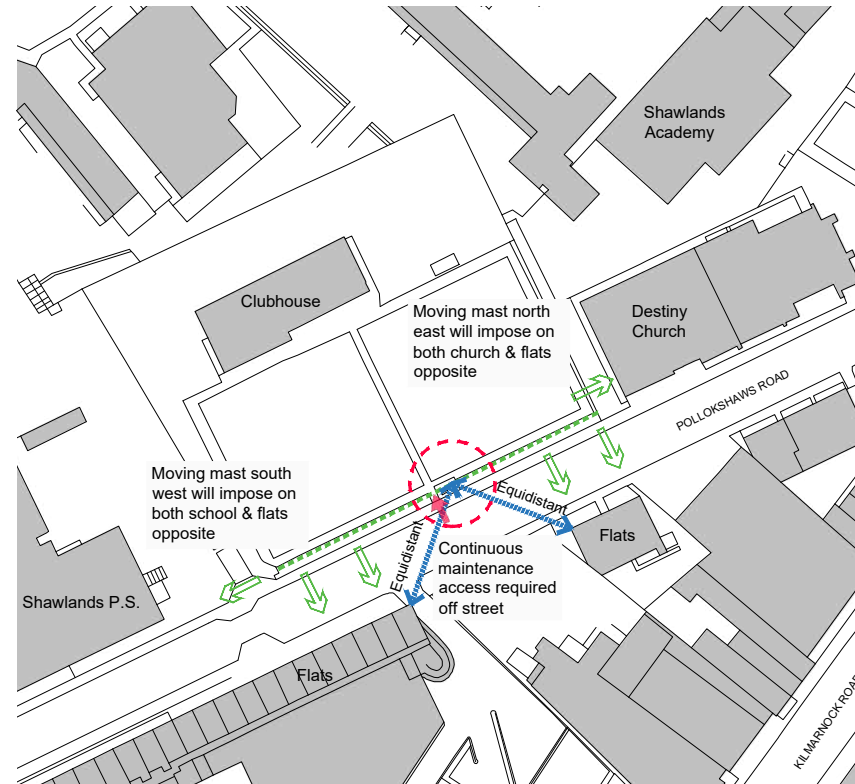
3.5 Topography



The proposed development site and adjoining areas has been surveyed and is generally flat with a slight drop off in level from South West to North East along Pollokshaws Road. There is also a drop in level of approx 0.6m from the pedestrian pathway between the 2 greens and the disused bowling green.

All access points on the site are currently relatively level, therefore DDA compliant access to the proposed development will be provided. Careful consideration will be given to the north and eastern boundaries to ensure there is no detrimental impact on adjoining properties.

3.6 Telecommunications Mast



The development site contains a Vodafone telecommunications mast in the south west corner. The telecoms mast and associated distribution unit is outwith the title of the site to be developed.

Shawlands Bowling Club signed a 20 year lease with Vodafone in October 2011. The telecoms mast provides the club with a welcomed and much needed guaranteed revenue stream. There is no termination clause within the lease agreement, therefore the mast can not be moved.

We have sought advice from telecommunications consultants who have recommended that we include a 'no-build' zone around the mast into our development.

Their advice has been not to build within 10m horizontally of the mast. This has been illustrated by a dashed red line in the diagrams above. This no-build zone will ensure the free distribution of the telecommunications signal, and the health and safety of any new residents within the proposed development.

Notwithstanding the above, we have carried out an exercise investigating the impact moving the telecoms mast might have, which is illustrated in the diagram above.

The mast and associated distribution unit requires 24hr access off Pollokshaws Rd for maintenance purposes. This therefore means that the mast could only be located along the street front of the site as demonstrated by the dashed green line.

The mast is currently situated equidistant between the tenement block and the more modern 6-storey block.

Moving the mast south west will result in an imposition on Shawlands Primary School and the flatted development opposite across Pollokshaws Road. This would likely be a contentious proposal.

Moving the mast north east will result in an imposition on the Destiny Church and the tenement block opposite across Pollokshaws Road. Again this would be a contentious proposal.

The mast, and the 10m exclusion zone, must therefore be viewed as a fixed constraint in the layout design for the site.

Section 4

Design Approach

4.1 Existing Clubhouse & Grounds

The existing clubhouse is currently in need of refurbishment and modernisation with urgent intervention required in certain areas. The proposed portion of the building to be demolished lies unused for 6 months of the year as the club can no longer afford to maintain or heat it. This has become an unsustainable financial burden for the club.

It is proposed to demolish this portion of the existing clubhouse, refurbish the retained element and create a new entranceway which will be more attractive to visitors and give the club more visibility from the passing public on Pollokshaws Road. These refurbishment and upgrade works will be funded by the capital receipt of the land sale.

The ongoing maintenance requirements of two bowling greens, the dwindling numbers of playing members, and the growing popularity of indoor playing surfaces elsewhere have contributed to the decline of the north-eastern green. The club are unfortunately no longer in a position to maintain two playing greens, therefore they came to the decision a number of years ago that the club would operate with one green only.

The club are also currently struggling to deal with a large expanse of Japanese Knotweed on the northern end of the site. As the treatment of this weed is labour intensive and dealt with by specialists, the club do not have the means to sufficiently remove it. As part of the land sale Kelvin Properties intends to partner with the club in eradicating the weed from the entire site

4.2 Consultations

Shawlands Bowling Club Committee have met with both Sports Scotland and Bowls Scotland to discuss their drop in membership and requirement to reduce the size of the clubs playing facility.

The club outlined their intention to reinvest the funds raised by the sale of the land back into the club, therefore securing the future viability of the facility. Both Sports Scotland and Bowls Scotland were understanding of the needs of the club and broadly supportive.

The club have also been in close consultation with their own members, keeping them informed throughout the process.



4.2 Design Development

As part of the design development process a significant number of site layout options were explored by the project team. This exercise was carried out in close consultation with the bowling club in order to ensure the optimum site response was achieved, with each arrangement being market tested for financial viability.

Various site and massing layouts were investigated. Two factors that were considered fundamental to the success of the project were:

- Creating an urban edge onto Pollokshaws Road by providing a quality street frontage with adequate height to respect the tenements opposite.
- Respecting the clubhouse and bowling green by offsetting the development from the pedestrian access path by 10m, whilst also providing a pleasant south west facing aspect for the residents of the new development.

The 3 sketch site layouts shown on the right demonstrate some of the early stage options that were explored. The initial proposals looked at introducing a mix of flatted and townhouse units. It was felt that the additional road infrastructure required for townhouses resulted in an unsatisfactory level of green space, therefore this option was discounted.

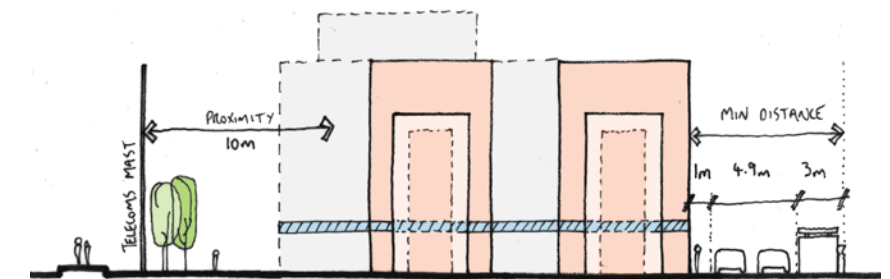
Following a meeting with the club committee it became apparent that the telecommunications mast located adjacent to the existing pedestrian access gate needed to remain in situ, as the club are tied into a long term lease with Vodafone.

Relocating the mast was investigated, however it became apparent that this was not possible for the reasons noted in Section 3.6 of this document.

Early proposals looked at building tight up against the telecommunications mast. Following consultations with several UK cellular network operators it was advised that a 10m 'stand-off' zone radius from the mast be provided, which is highlighted in blue on the 3 sketch site layouts on the right.



Early Site Layout Options

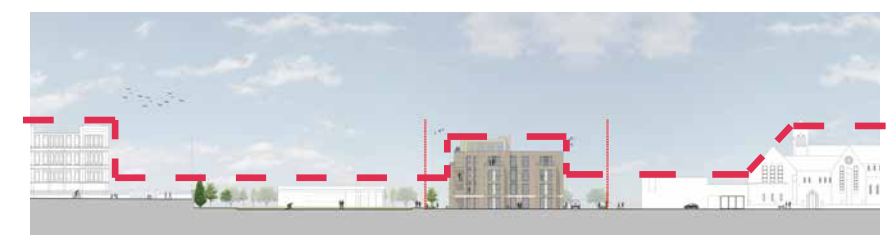


Constraints Diagram

Providing a frontage onto Pollokshaws Rd was always a consideration during the design development process. There is, however, a limit to the length of street frontage that can be achieved due to constraints on the site. The constraints diagram above demonstrates that the maximum street frontage length is being provided. The telecoms mast means that a 10m 'stand-off' proximity zone is required.

The urban fabric on the west side of Pollokshaws Road does not present a continuous line of built form, such as tenement flats, instead there are a series of individual buildings separated by spaces: the primary school with playgrounds; the church with delivery courtyards. In fact the whole city block is composed of individual buildings which do not present an aligned street facade to Pollokshaws Road. This argues against the need for a pend access at the north edge to force a longer street facade, and in turn this avoids the unpleasant spaces and overshadowing associated with a pend.

There would be an argument to be made in building up against the boundary if the adjacent site was of an equal scale, and was a continuation of the traditional tenemental street elevation. However, in this case there is no continuous roof line datum to tie in with, demonstrated in the diagram below, therefore stepping the building back from the boundary was seen as a more sensitive approach.



Roof Line Diagram



Partickhill Bowling Club

The site benefits from a south facing aspect looking south over the retained bowling green. The design was developed to take advantage of this aspect, offer the new properties this attractive view and open the green space to the street.

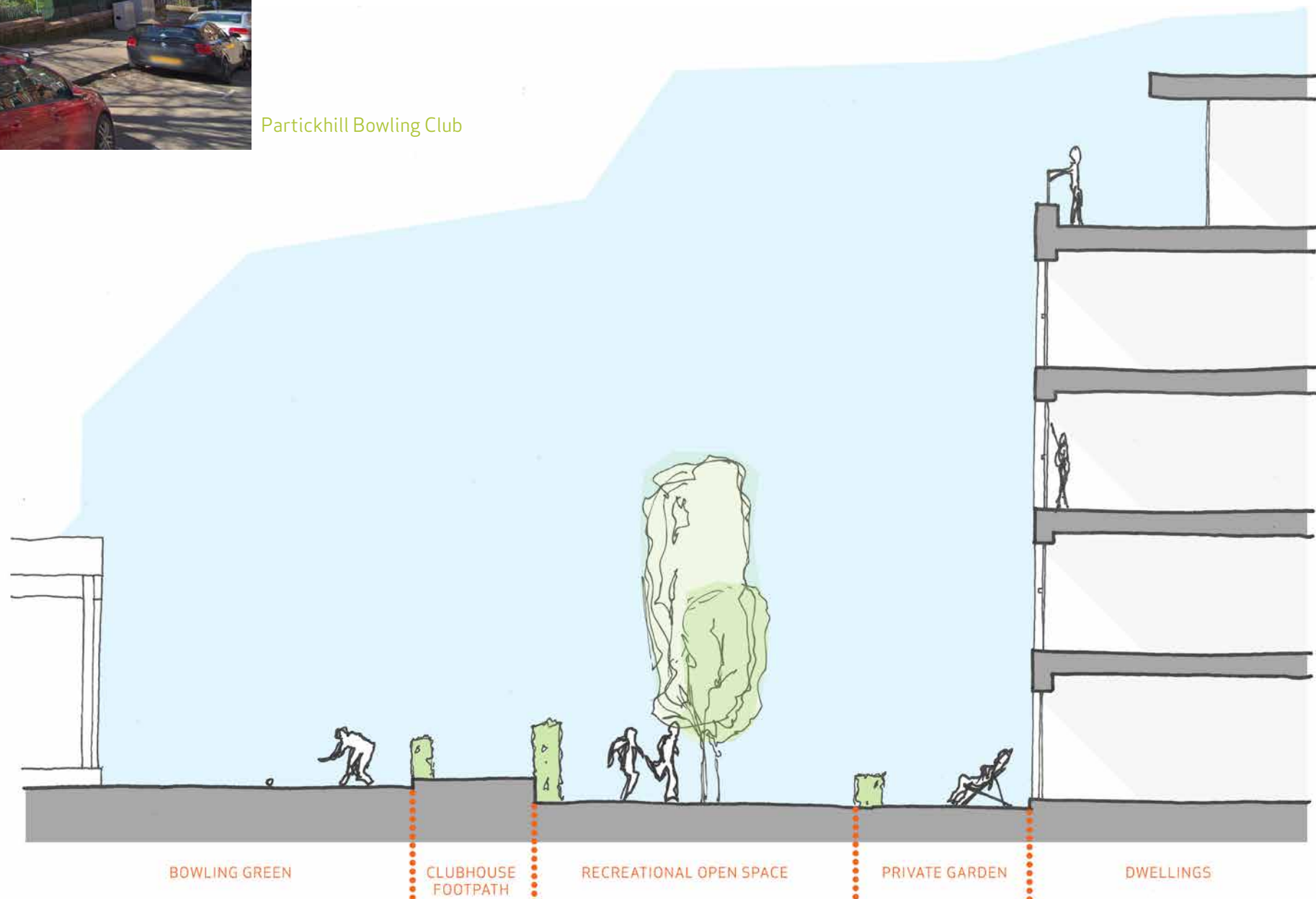
This also works to the advantage of the bowling club as it will provide continuous passive surveillance for the club, and will offer some life and activity on what is currently an unused space.

The proposed development has been set well back from the edge of the clubhouse in order to negate any potential overlooking issues.

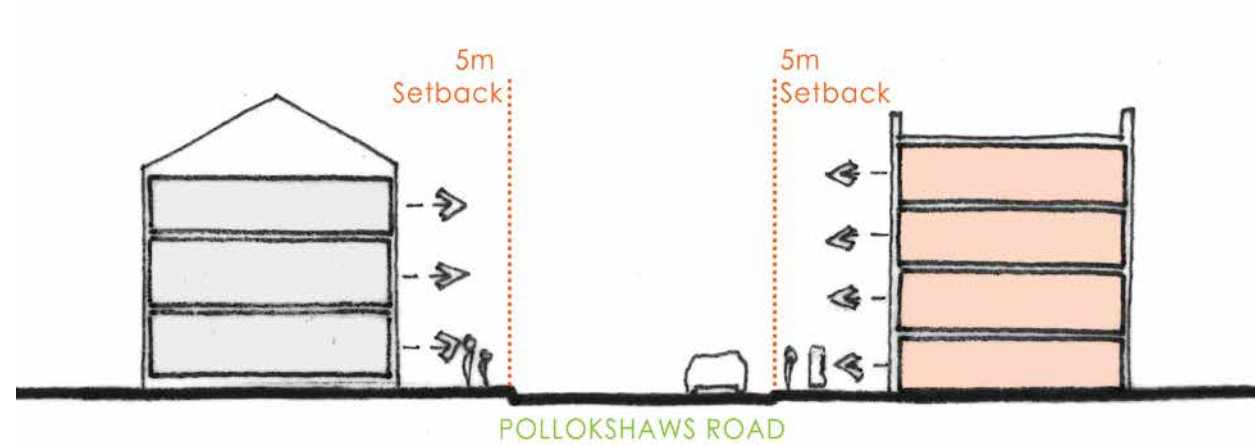
This offset provides an opportunity to introduce a high quality landscaped buffer between the two buildings. As illustrated on the site section on the previous page, the buildings will be separated by a combination of private gardens, recreational open space, a footpath and a portion of the bowling green.

This approach has proved successful on other recent projects, particularly the redevelopment of a disused bowling green at Partickhill Bowling Club, shown below. Here they too have a south facing aspect over a communal / private garden space, orientated in line with the bowling green, and not the adjacent tenement block.

Proposed Site Section



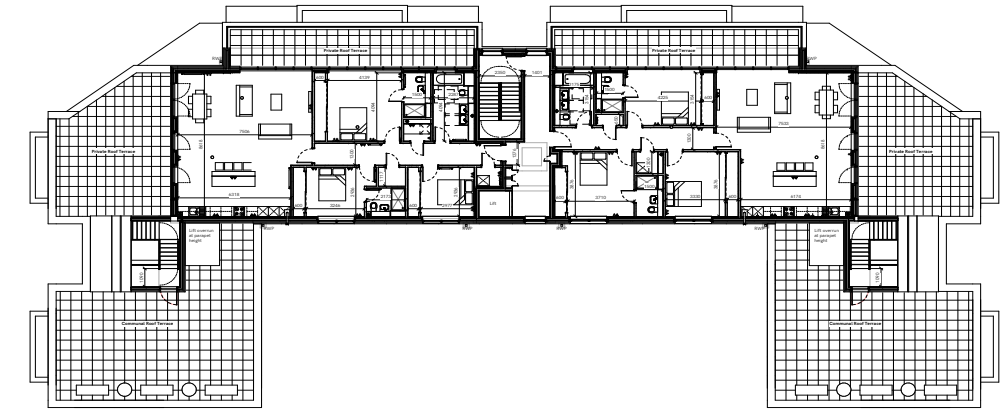
This communal space is ideally situated on the warm, south face of the building, adjacent the bowling green. It is separated from the flats by a 5m private garden space given over to the ground floor flats. It is a generous 6.5m wide landscaped strip with bench seating, providing a pleasant communal place to sit or for children to play. A formal children's play area is located at the west end of the strip.



Road Section

As mentioned previously it was important to the scheme that the building addressed Pollokshaws Road, as well as the bowling green to the south. The building directly opposite the site on Pollokshaws Road is a 3-storey traditional Glasgow tenement with a raised ground floor and pitched roof set back from the pavement line.

The road section diagram above demonstrates that a 4-storey modern flat block is the correct approach in terms of street scale and massing. The proposed development is also set back from the pavement line by 5m to mirror the tenement building opposite and provide private garden areas for residents on the ground floor.



Aerial view of new roof terraces

The purpose of this application is to obtain permission for the communally accessible roof terraces at the east and west ends of the building. These exist in the granted scheme as flat roofs behind parapets and no change is proposed to the parapet height.

The design development would add in paving slab surface, benches and raised planters. To access the terraces, the common stair is to be extended up by one level and will be clad in zinc coloured metal cladding. The roof of the stair enclosure slopes down to the building perimeter such that it tucks in behind the granted parapet height. The new stair enclosure cannot be seen from the street until a good distance away from the site.

This provision provides a generous increase in open space for the residents to enjoy. It will only have a very limited affect on overlooking, with all elevations below the terrace having windows already looking out in the same direction as from the terrace. In addition the new building is a good distance from the flats across Pollokshaws Road. The yard of the neighbouring church is not suited for recreation and is functional in its appearance and operation.

4.3 Form & Layout

The basic form, scale and geometry of the proposed development is influenced by the urban setting from which it sits. The following narrative and diagrams illustrate the steps taken during the design development process.

1) Create Massing -

Through careful consideration and analysis of site context it was concluded that a 5-storey building was the appropriate response for this site. The surrounding heights diagram provided in Section 3.2 of this document shows the immediate context varying from a 6-storey flatted building, a 3-4 storey Victorian school block and a church, in addition to the traditional Glasgow tenements.

2) Create Form -

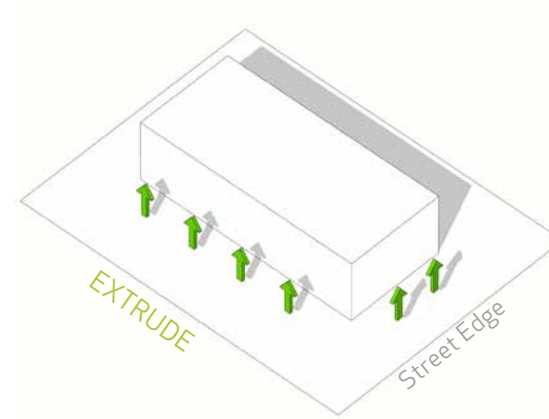
The Shawlands area has undergone major transformations throughout the last century. The urban layout of the area still shows evidence of the perimeter block grid, typical of Glasgow's tenemental heritage. The proposed form of the development intends to continue this urban planning approach by employing a C-shaped perimeter block layout with chamfers on the corners in response to the telecommunications mast and the existing clubhouse.

3) Create Aspects -

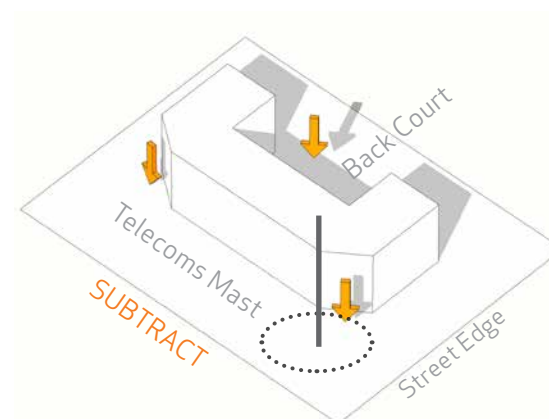
The proposed development site benefits from being in a popular location with positive aspects. The form of the building, aligned parallel with the retained bowling green and along Pollokshaws Road provided an opportunity to make the most of these aspects. This was key to the design development process and helped influence the layout of the building. As demonstrated on the diagram to the right, sections of the overall building form were extruded to provide external terraces to residents whilst also providing interest to the elevations.

4) Create Articulation -

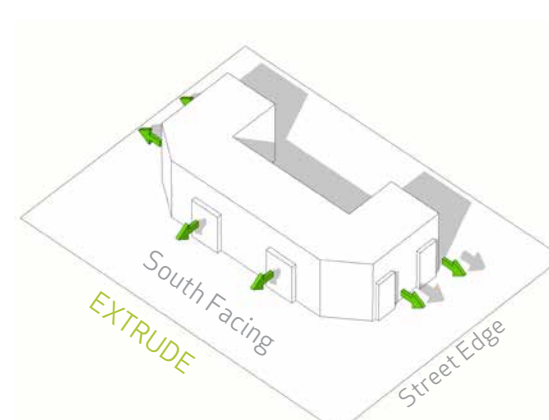
Use of set backs and subtractions from the building mass were then employed to create further articulation to the elevations. Making the most of the south, south-west facing aspect was achieved by introducing terraces and balconies, and where this was not possible, floor to ceiling glazed juliet balconies.



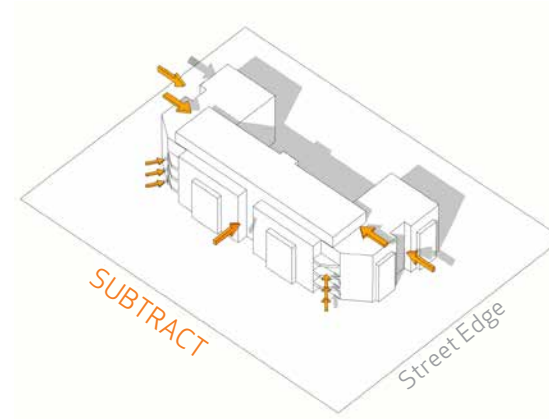
1) Create Massing



2) Create Form



3) Create Aspects



4) Create Articulation

4.4 Materiality

It is proposed to use a limited palette of high quality materials throughout the external fabric of the building. The dominant material is to be finished in a weathered buff facing brick.

A weathered buff brick was chosen to clad this building for a number of reasons:-

- Brick provides a robust material which requires very little maintenance and maintains its good looks over time.
- The weathered finish to the proposed brick will provide a more tactile texture than a smooth brick. Its reflection of light will be more interesting than that of a smooth brick.

There is a limited and restrained palette of materials:-

- Gold coloured metal cladding for the top storey. This material provides warmth and a sense of luxury to the development.
- Precast concrete to the first floor string course and between selected window apertures. The string course helps break up the building mass whilst the use of it between apertures complements the elevational composition.
- Large format glazed units with glazed juliet balconies to all flats which will provide a light addition to the solid brick background.

By restricting the selection of materials to these high quality elements, the result will be a high quality contemporary design attractive to both prospective property buyers and to the wider public realm.

Weathered Buff Brick



Gold Coloured Metal Cladding



Precast Concrete



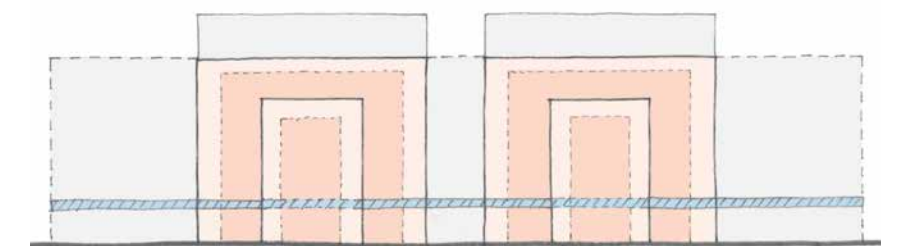
4.5 Elevation Composition

It is proposed to apply a structured and symmetrical framework to the elevational composition as a reference to the neighbouring sandstone tenement buildings. The intention is not to replicate, but to address the context with a contemporary approach.

The window and terrace arrangement creates the proportional aesthetic of a smaller block within a larger block. The use of terraces and balconies create depth to the elevations and provide further interest to the facade.

Full height windows are to be provided throughout the north-west, south-east and south-west elevations, which will provide a quality aesthetic to the building. Every aperture on the external facades will also incorporate a full brick return ingoie, again reinforcing the quality appearance of the development

A polished precast concrete string course is to be used at first floor level to tie the whole block together visually. The string course will also serve to emphasise each core entrance, whilst providing a canopy to provide shelter from the elements.



Elevation Composition

4.6 Access & Vehicle Manoeuvrability

Pedestrian access to the development site will be off Pollokshaws Road. Each entrance approach will be via a well maintained landscaped pathway. All building access points will be provided with electronic intercom access systems.

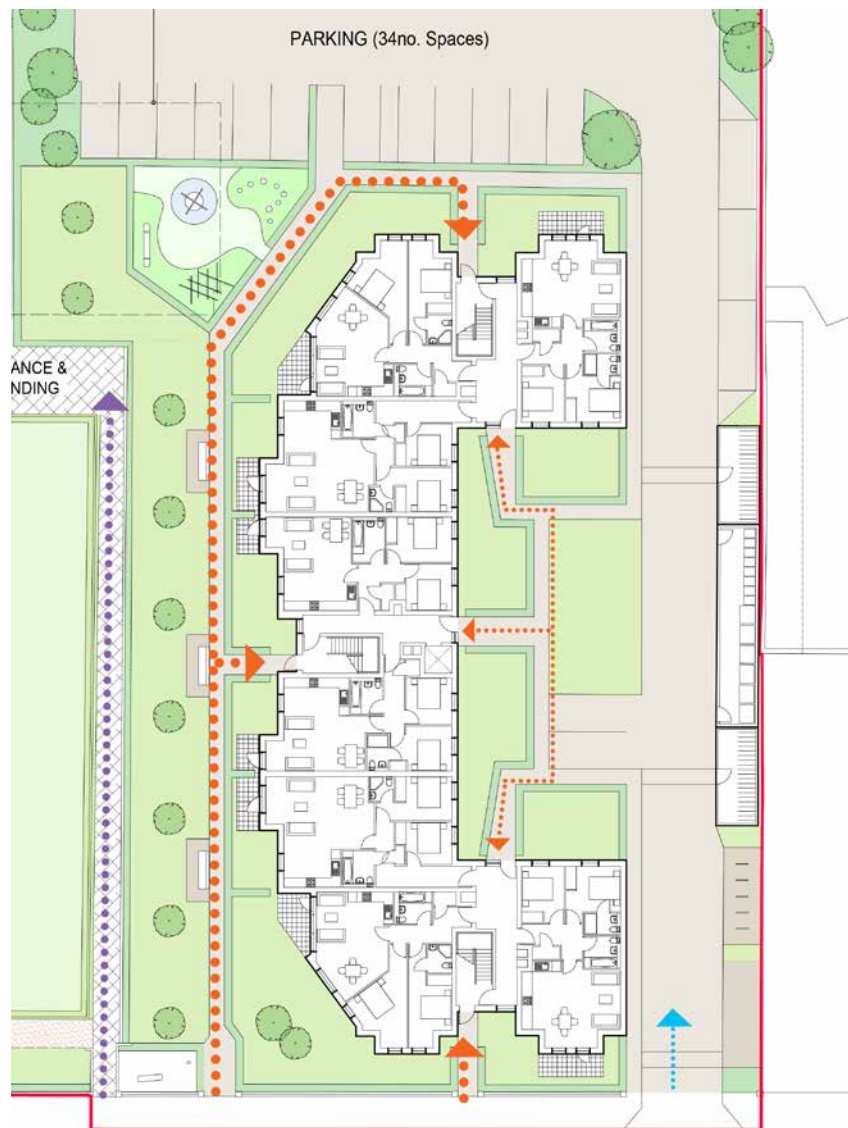
Access to the bowling club will remain unchanged throughout the construction phase and thereafter. The site is relatively flat, therefore DDA compliant level access will be provided to all areas of the new development, as well as being provided to the clubhouse where it does not current exist.

34 vehicle parking spaces will be provided as part of the new development. This constitutes a 100% provision. 50 cycle parking spaces will be provided for both residents and visitors. This constitutes a 147% provision and in excess of the requirement noted within SG11: Sustainable Transport. These spaces will be accessed from a new entranceway off Pollokshaws Road via a shared surface lane.

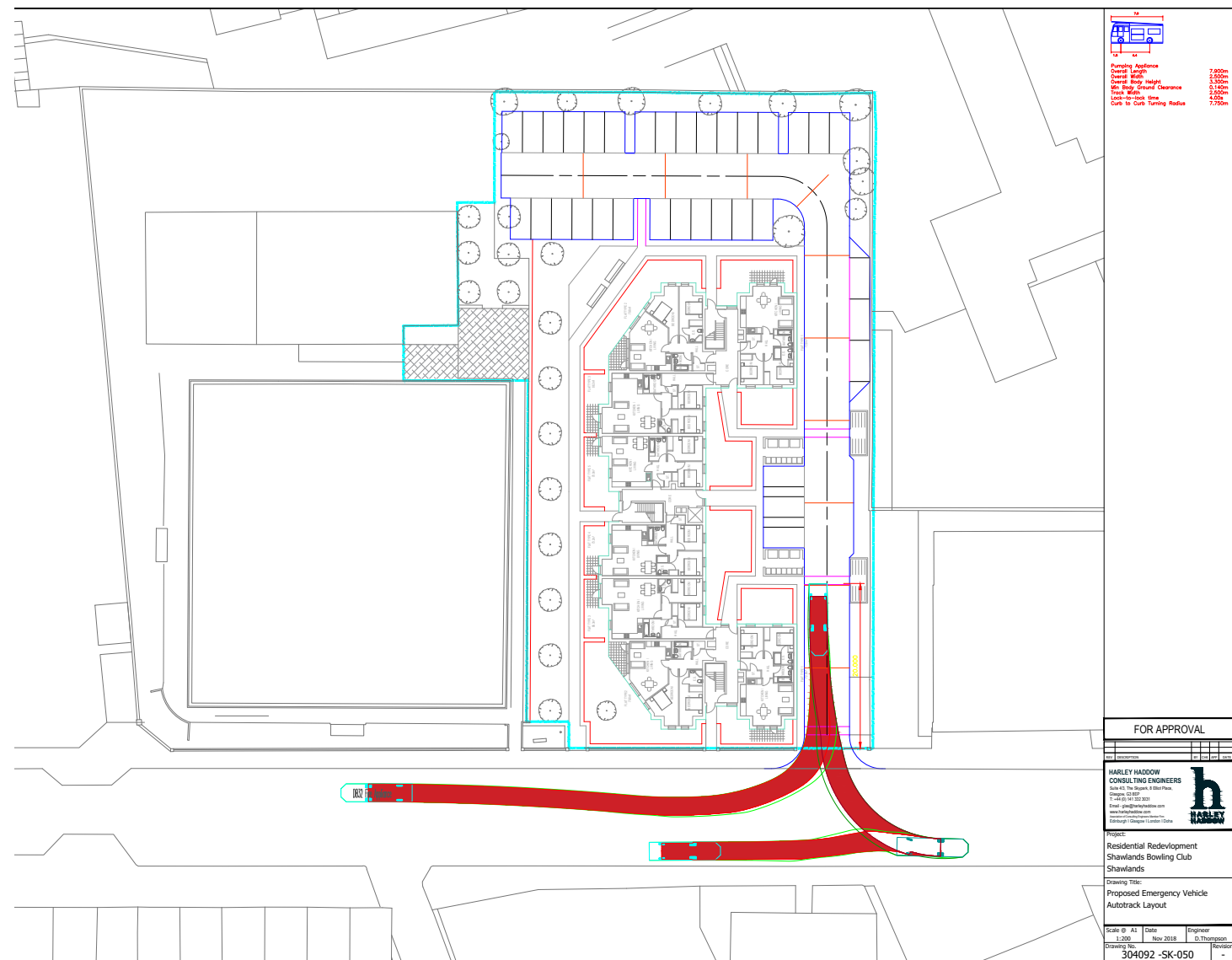
There will be no requirement for refuse vehicles to enter the site. On bin collection day, the bins will be taken by the site management company from the bin compounds to the designated bin collection

point adjacent to Pollokshaws Road as highlighted in Section 4.9 of this document.

Vehicle autotracking analysis has been carried out to demonstrate the road geometry in the proposed development will provide adequate access for emergency vehicles. This is shown on the diagram below. Mitigating the requirement for a vehicle turning head within the site enables more area to be given over to green space.



- → PRIMARY PEDESTRIAN ACCESS
- → ACCESS FROM BACK COURT
- → VEHICULAR ACCESS
- → BOWLING CLUB ACCESS



FOR APPROVAL

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Project: Residential Redevelopment Shawlands Bowling Club Shawlands
 Drawing Title: Proposed Emergency Vehicle Autotrack Layout

Scale: A1	Date: Nov 2018	Engineer: G. Thompson
Drawing No: 304092-SK-050	Revision:	

4.7 Relationship to Context

As highlighted in Section 4.3 analysis was carried out of the adjoining streetscape to ensure the massing and scale of the development was in keeping with its context.

The immediate context contains a wide variety of building typologies and scales. There are traces of Glasgow's traditional tenement block style, most evident in areas such as Dennistoun and Hyndland, however the site is also adjacent to a 6-storey modern flatted development, a large commercial warehouse building and a church, among other building types.

It was felt that the area the site sits within does not have a clear 'style' or typology. It was therefore deemed important during the design development process that the proposed development should demonstrate its own quality, whilst also being respectful to the adjoining properties.

The diagram adjacent illustrates the roof profile in relation to Pollokshaws Road. The proposed development is at 4-storeys along Pollokshaws road to sit comfortably within the streetscape.

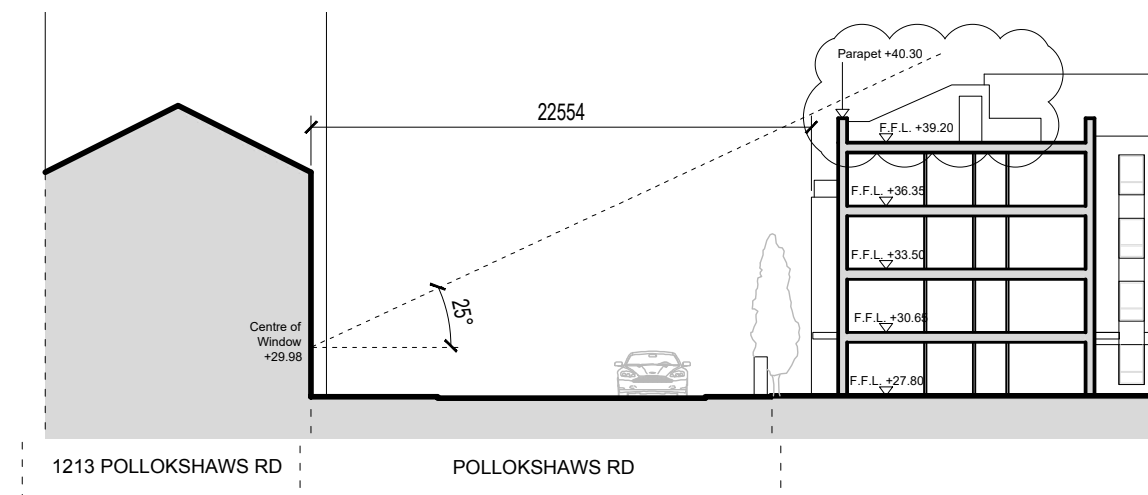
This new application locates a commonly accessible roof terrace on the block adjacent Pollokshaws Road. Otherwise this section is as granted by the Local Review Committee, including the parapet heights.

Sections A&B demonstrate the relationship between the proposed development and adjoining properties. Section A in particular analyses the potential affect on the daylight & sunlight enjoyed by the nearest residential dwellings.

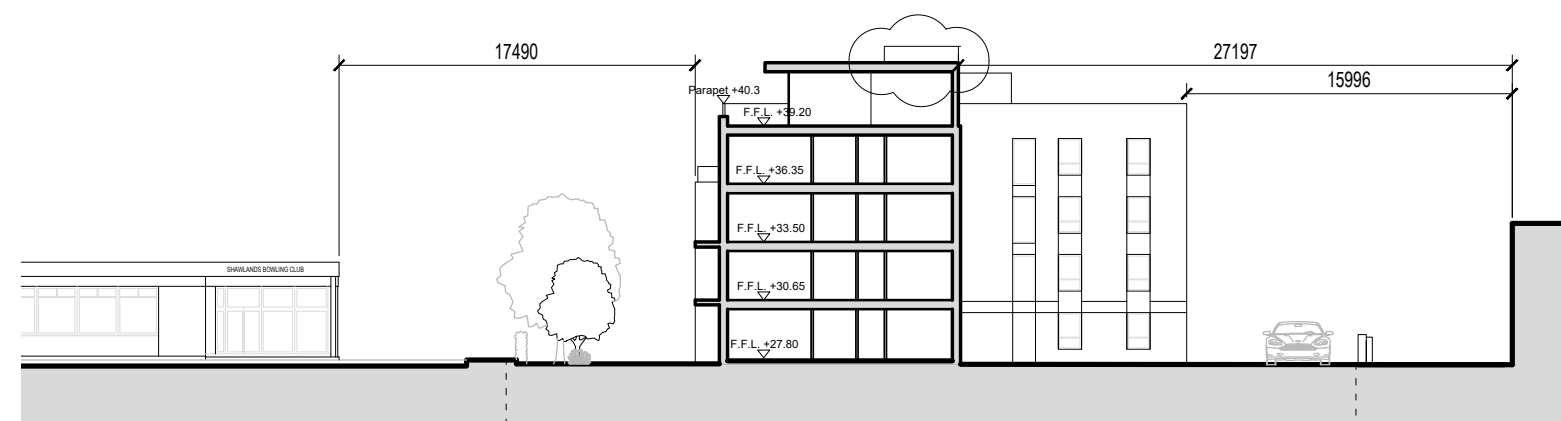
The analysis has been carried out as per the guidelines set out within the Building Research Establishment's (BRE) 'Site Layout Planning for Daylight and Sunlight - A good practice guide - Second Edition' Document.

In order to determine whether the existing windows will be affected, the guidance requires a section to be drawn through each main window wall and the proposed development.

The angle of the horizontal subtended by the new development at the level of the centre of the lowest window then needs to be calculated. If the angle is less than 25° for the whole of the development 'then it



Section A



Section B