

IMPORTANT NOTE: A Party Wall agreement may be required for these works. See information in the adjacent titleblock for further details

General notes:
 This drawing must be read in conjunction with the following:
 1274-01 Plans as Existing
 1274-02 Elevations as Existing
 1274-03 Elevations as Proposed
 1274-04 Ground & First Floor Plans as Proposed
 1274-05 Loft Plan as Proposed
 1274-06 Section as Proposed
 1274-07 B.R. Specification

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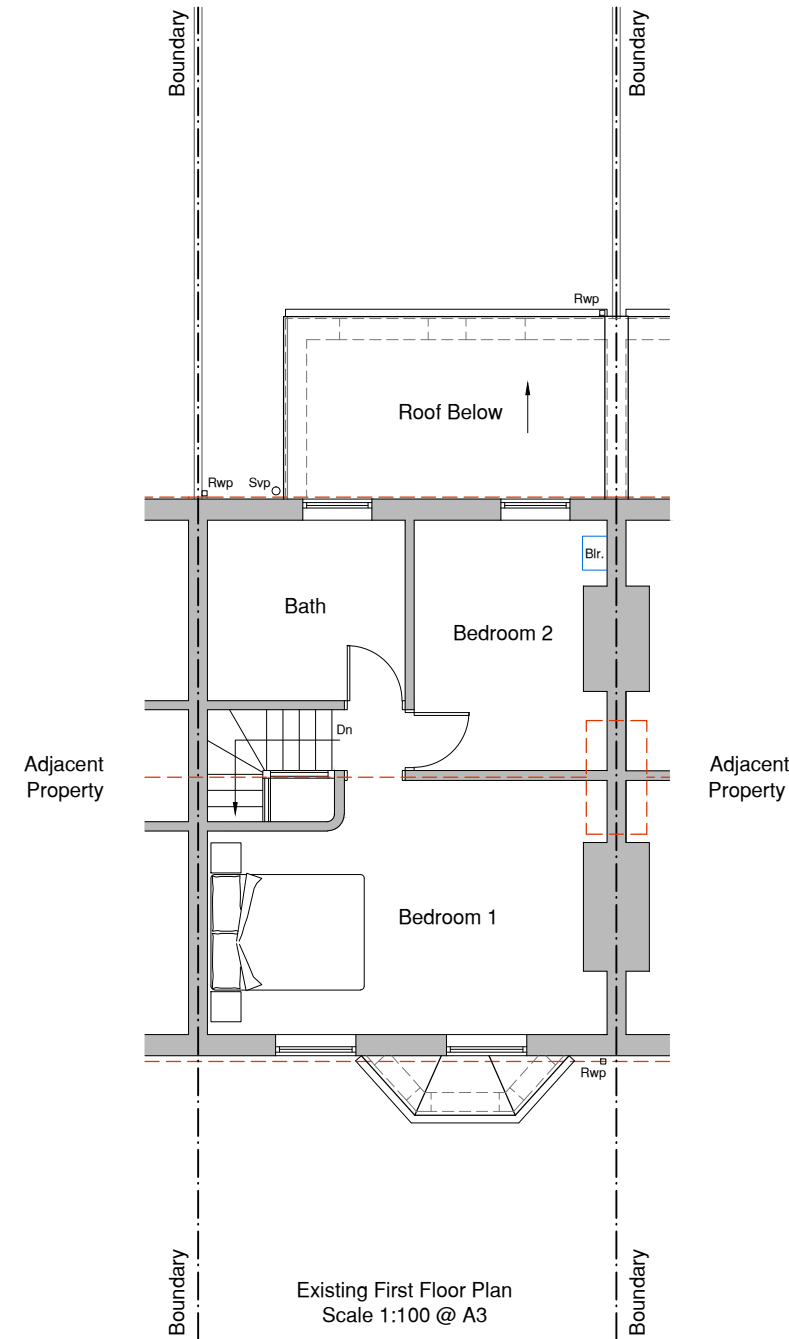
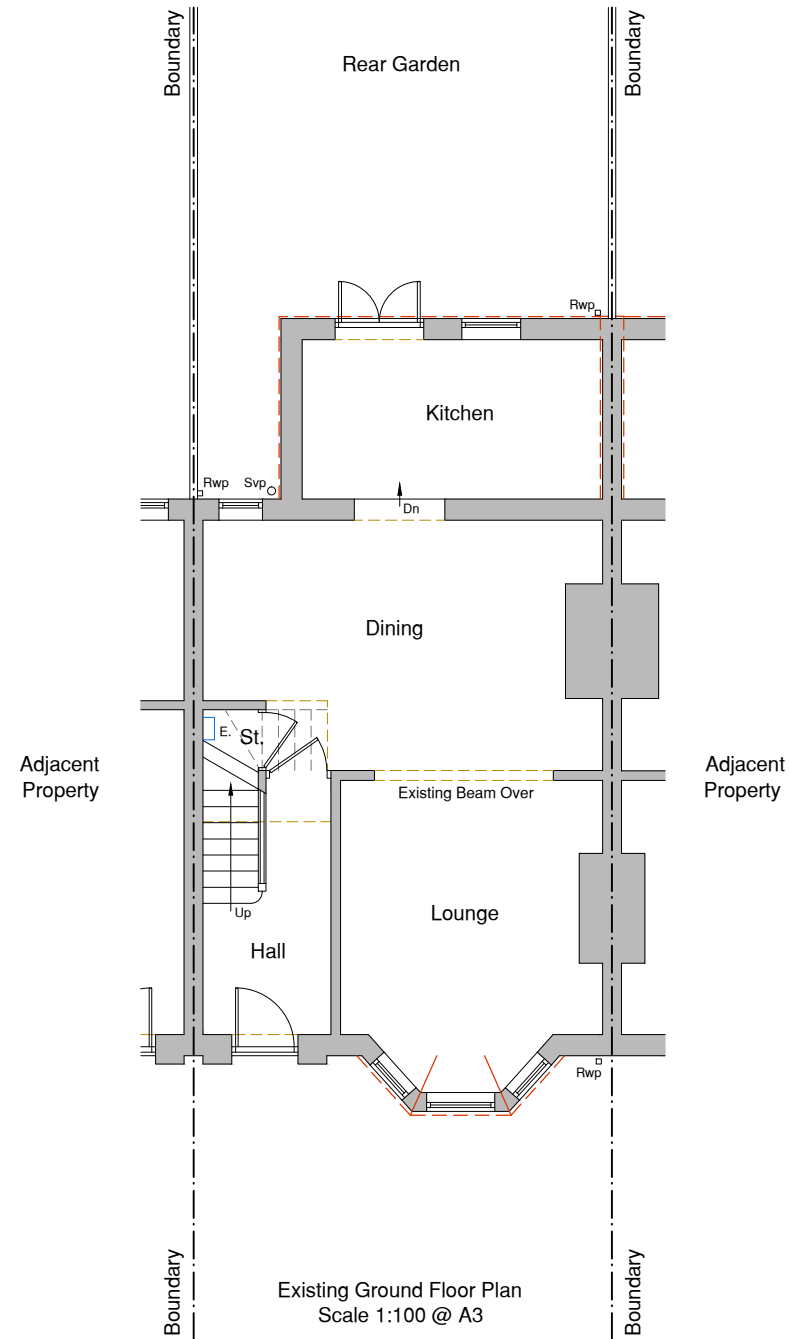
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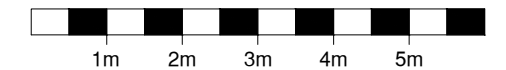


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Rev	Date	Description
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PLANNING

Scale Bar:



Essan-K Planning Ltd
 Planning & Design Consultants

25 Leney Road, Wateringbury, Kent, ME18 5DQ
 Tel: 01622 296319 Email: info@ekplanning.co.uk
 Web: www.ekplanning.co.uk

Project Title:
**Mr James Snepp,
 56 Dairsie Road, Greenwich,
 London. SE9 1XH.**

Drawing:
**Loft Conversion
 Floor Plans
 Existing**

Date: 08/09/2021	Drawing Number:
Scale: 1:100 @ A3	1274 - 01
Drawn: G.J.O.	Revision: -
Checked: S.W.	

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All flashings, valleys, drips and soakers to the Lead Development Associations details

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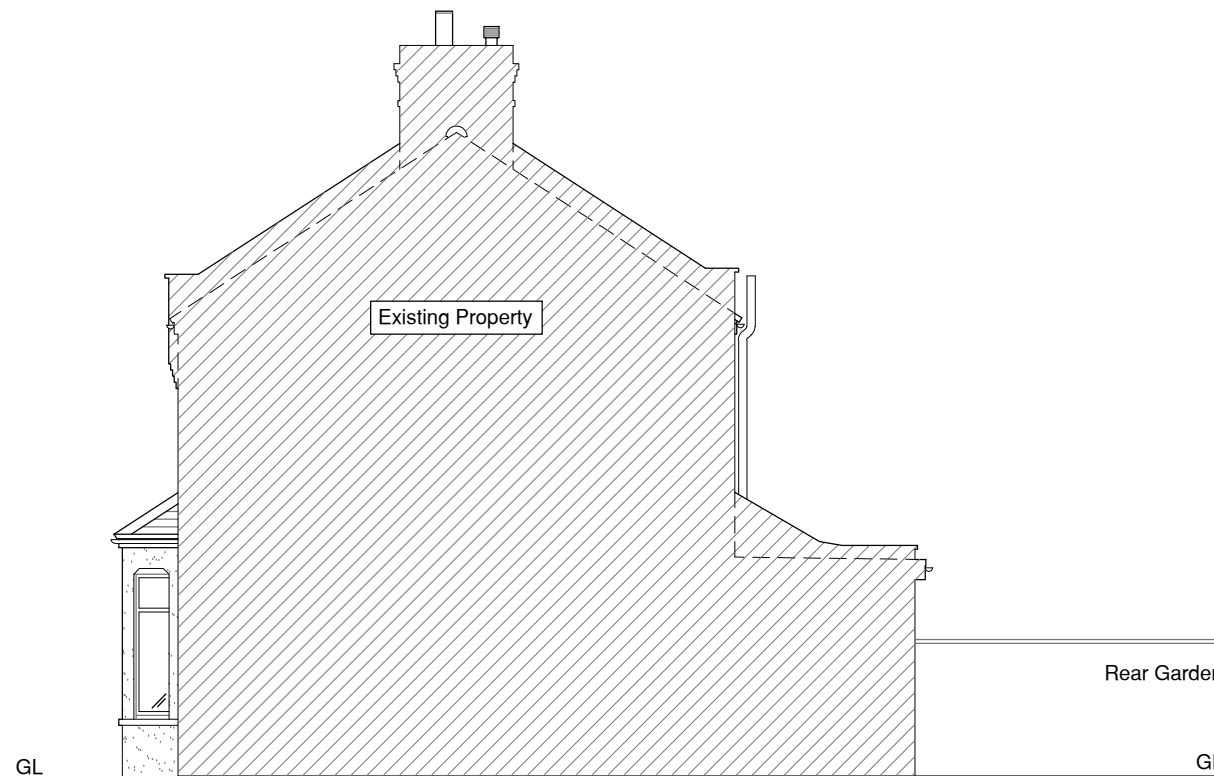
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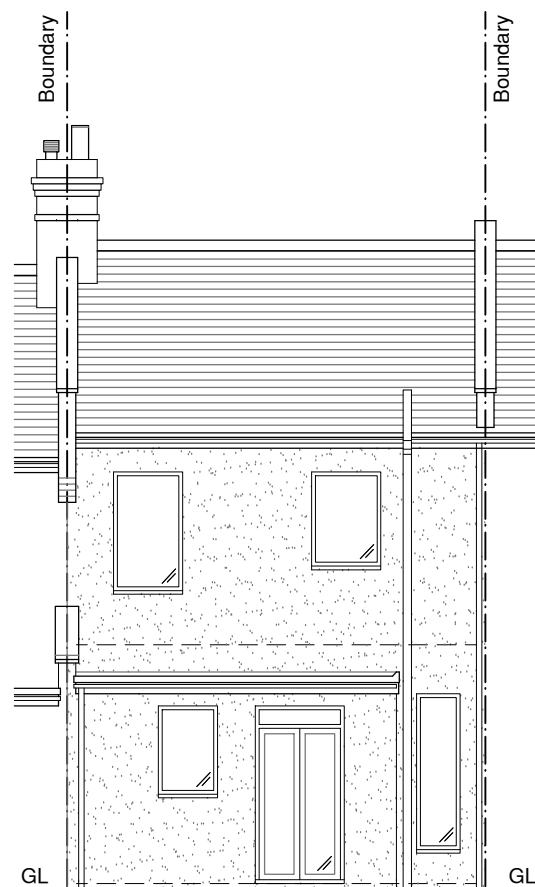
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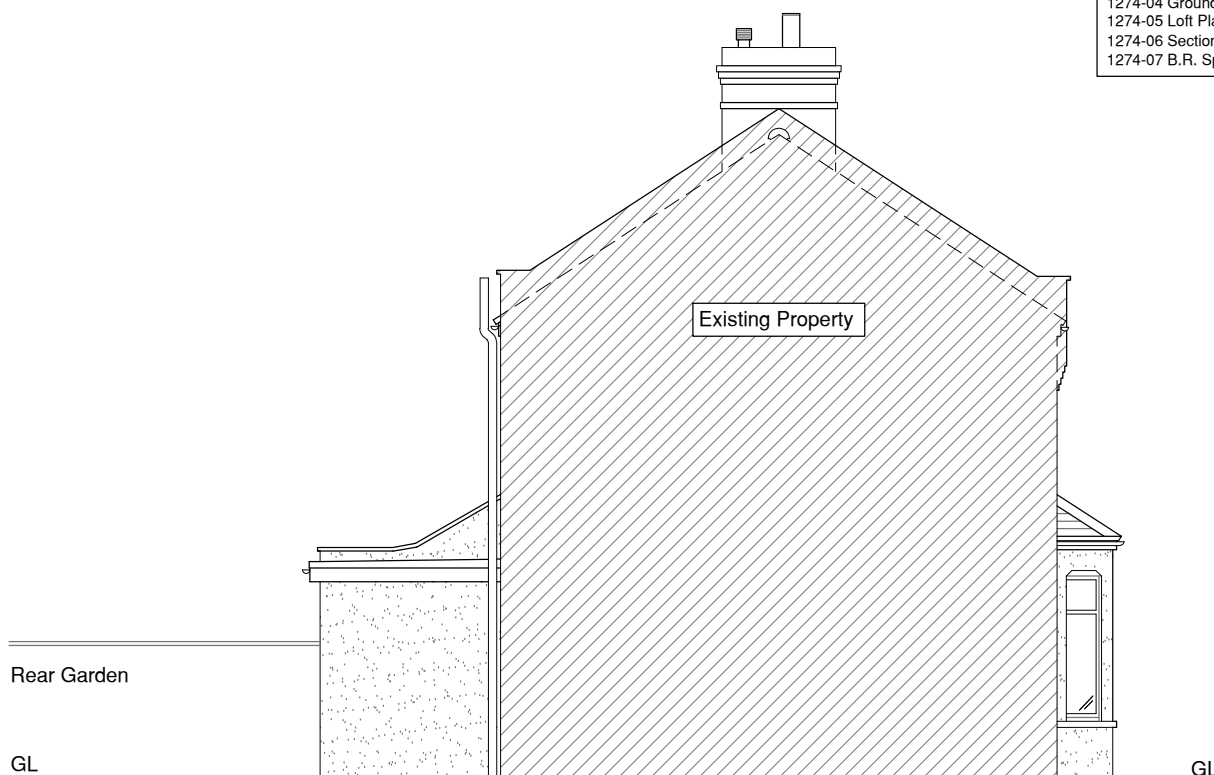
Existing Front Elevation



Existing Side Elevation



Existing Rear Elevation



Existing Side Elevation

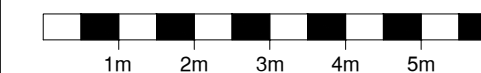
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 1274-06 Section as Proposed
 1274-07 B.R. Specification

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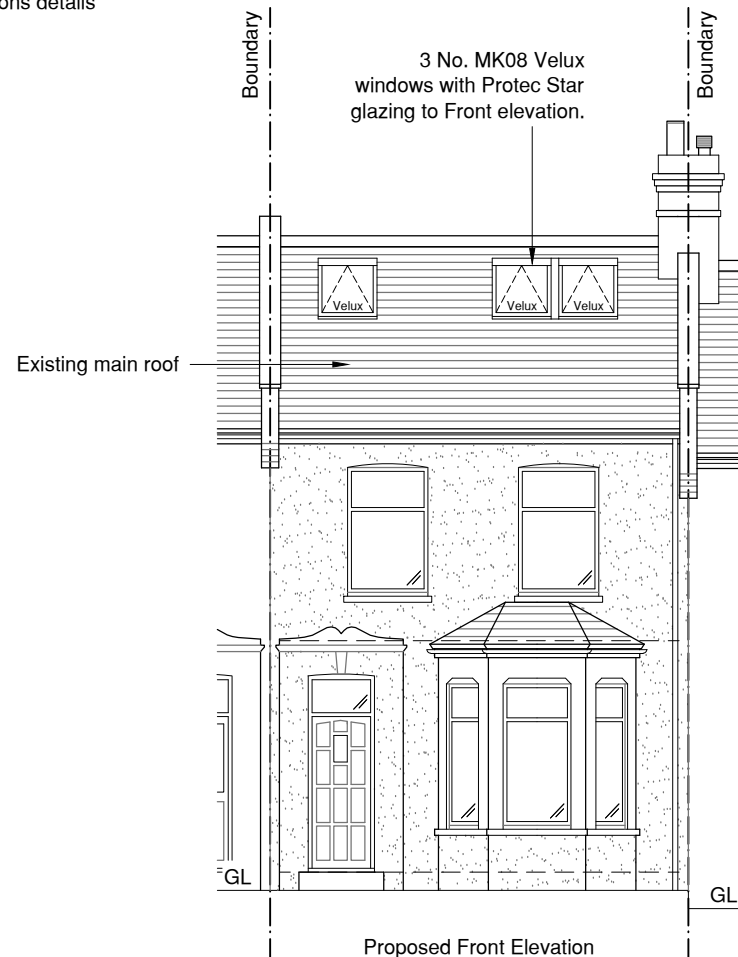
Project Title:
**Mr James Snepp,
 56 Dairsie Road, Greenwich,
 London. SE9 1XH.**

Drawing:
**Loft Conversion
 Elevations
 Existing**

Date: 08/09/2021	Drawing Number:
Scale: 1:100 @ A3	1274 - 02
Drawn: G.J.O.	Revision: -
Checked: S.W.	

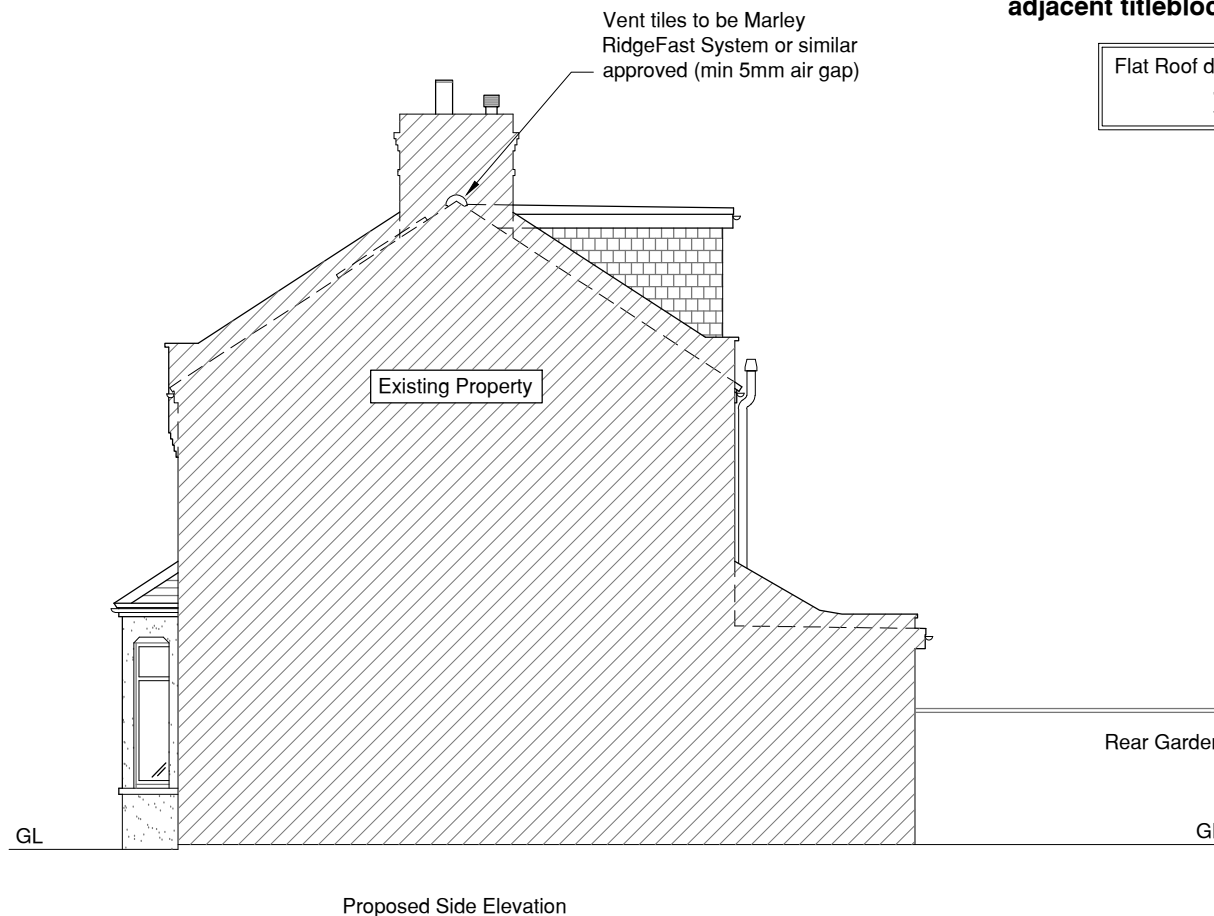
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3 No. MK08 Velux windows with Protec Star glazing to Front elevation.

Proposed Front Elevation



Vent tiles to be Marley RidgeFast System or similar approved (min 5mm air gap)

Proposed Side Elevation

IMPORTANT NOTE: A Party Wall agreement may be required for these works. See information in the adjacent titleblock for further details

Flat Roof dormer volume = 18.89m³
Total volume = 18.89m³

The location of the boundary shall be confirmed and agreed with the adjacent owner. No part of the works shall be constructed so that it effects a trespass upon the adjacent property. All work shall be undertaken in accordance with the Party Wall agreement 'The Party Wall Act of 1996'. An agreement should also be obtained from the adjoining owner in respect to access to neighbouring properties for the purpose of construction.

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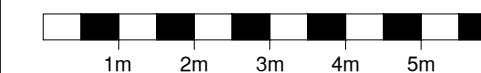
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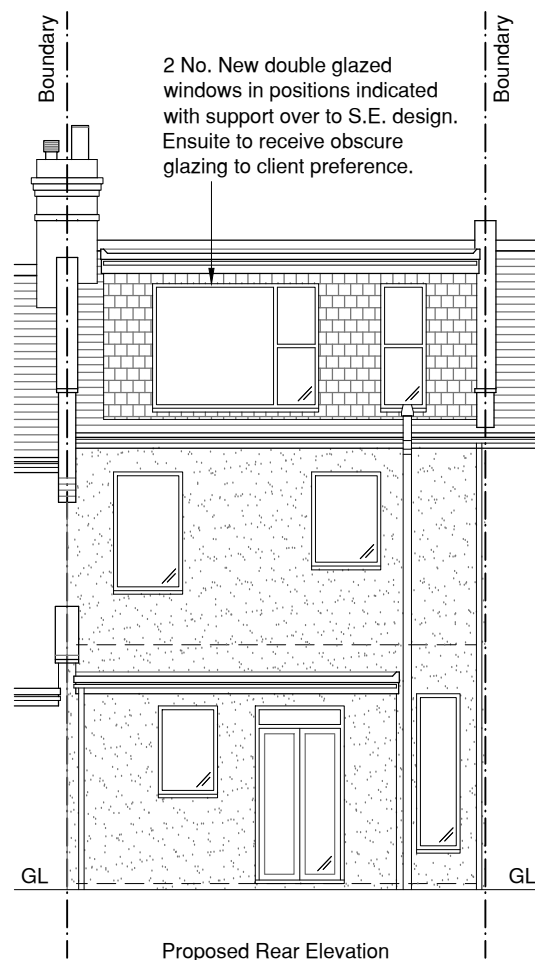
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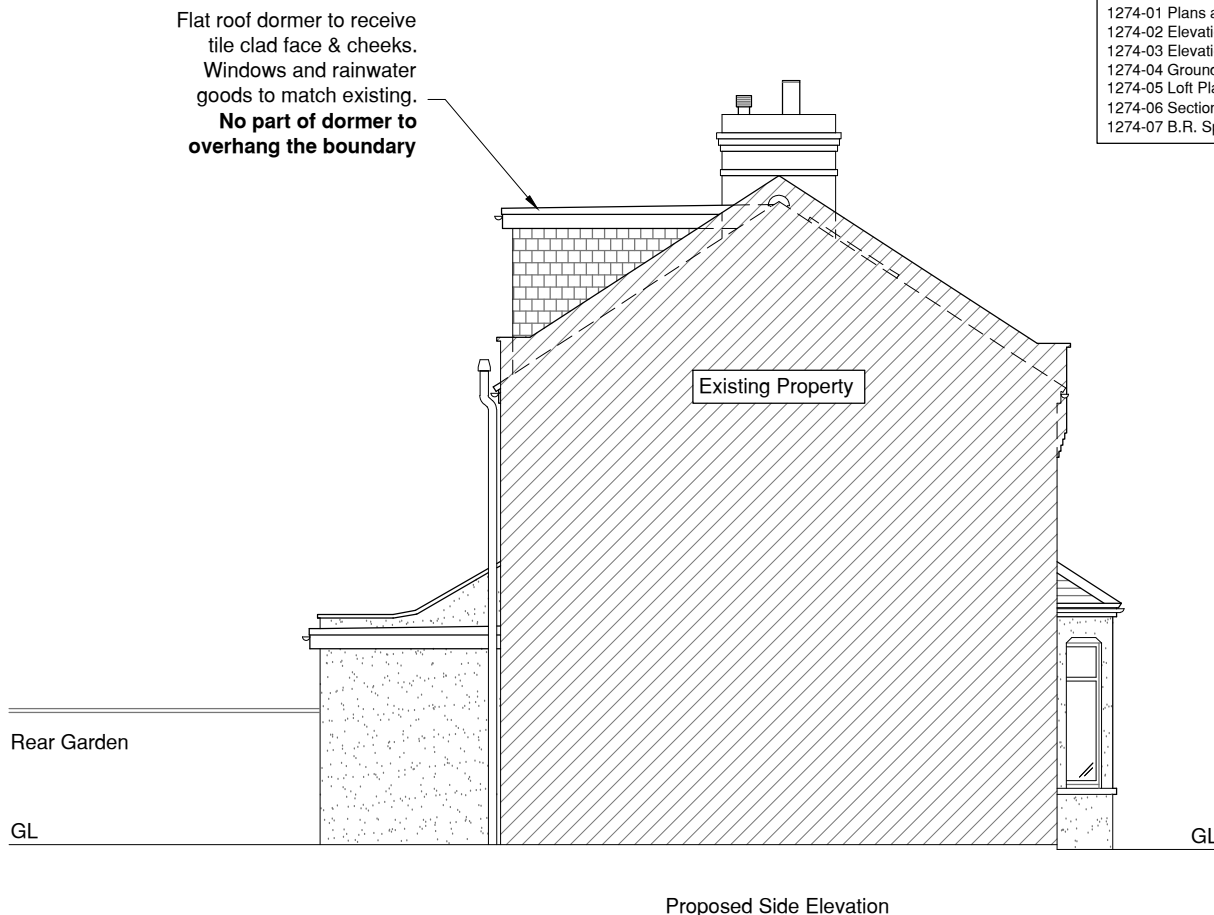


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1274-07 B.R. Specification



2 No. New double glazed windows in positions indicated with support over to S.E. design. Ensuite to receive obscure glazing to client preference.

Proposed Rear Elevation



Flat roof dormer to receive tile clad face & cheeks. Windows and rainwater goods to match existing. **No part of dormer to overhang the boundary**

Proposed Side Elevation

 **Essan-K Planning Ltd**

Planning & Design Consultants

25 Leney Road, Wateringbury, Kent, ME18 5DQ
Tel: 01622 296319 Email: info@ekplanning.co.uk
Web: www.ekplanning.co.uk

Project Title:

**Mr James Snapp,
56 Dairsie Road, Greenwich,
London. SE9 1XH.**

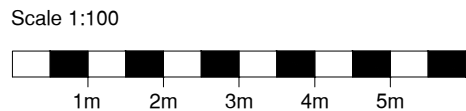
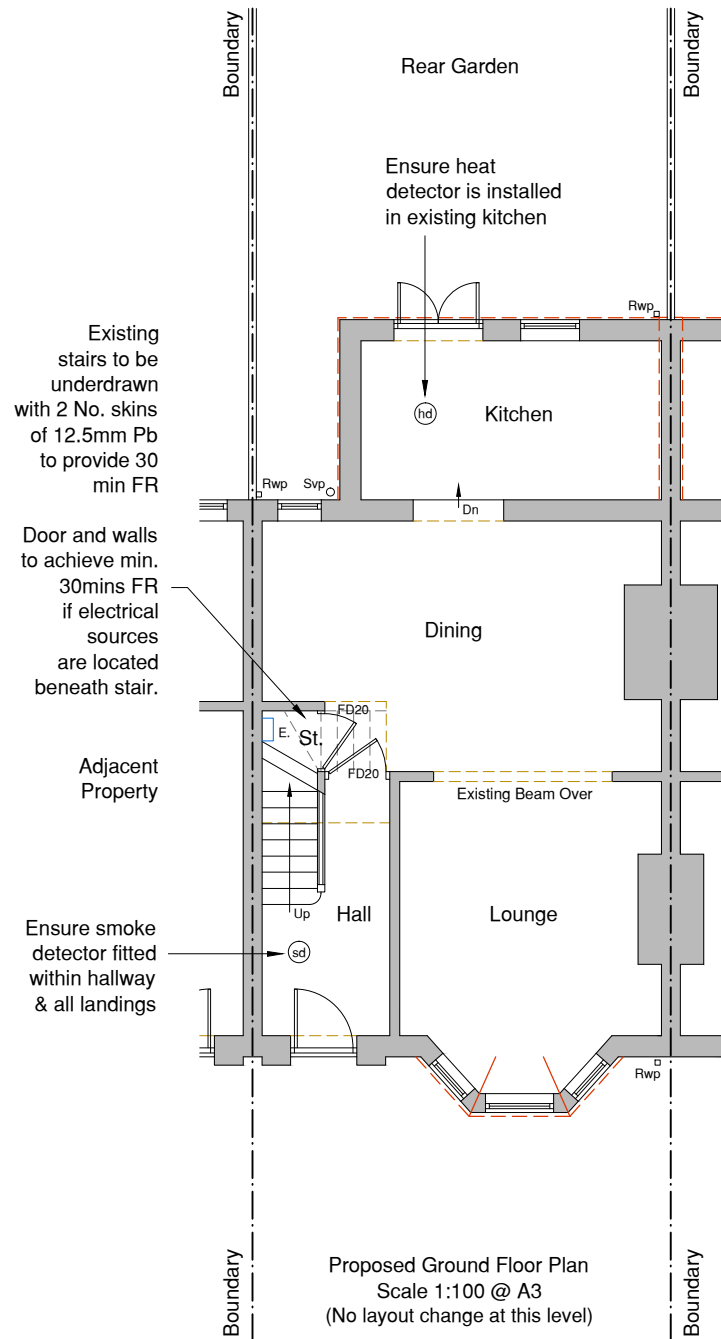
Drawing:

**Loft Conversion
Elevations
Proposed**

Date: 08/09/2021	Drawing Number:
Scale: 1:100 @ A3	1274 - 03
Drawn: G.J.O.	Revision: -
Checked: S.W.	

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Note to Contractor:
Typical new stair configuration; contractor to carry out survey and provide full details prior to construction
Ensure min 2000mm head height over existing stairs below & throughout flight

Structural newel post(s) required to support new stair. New newels hung from roof support over or onto existing structure below (T.B.C.). S.E. to advise on all supporting elements.

Existing ceilings to provide minimum 30 minutes min. Fire resistance. Supplement or renew if necessary.

New stairs to be underdrawn with 12.5mm Pb (as req by BCO) & max. 42°

Adjacent Property

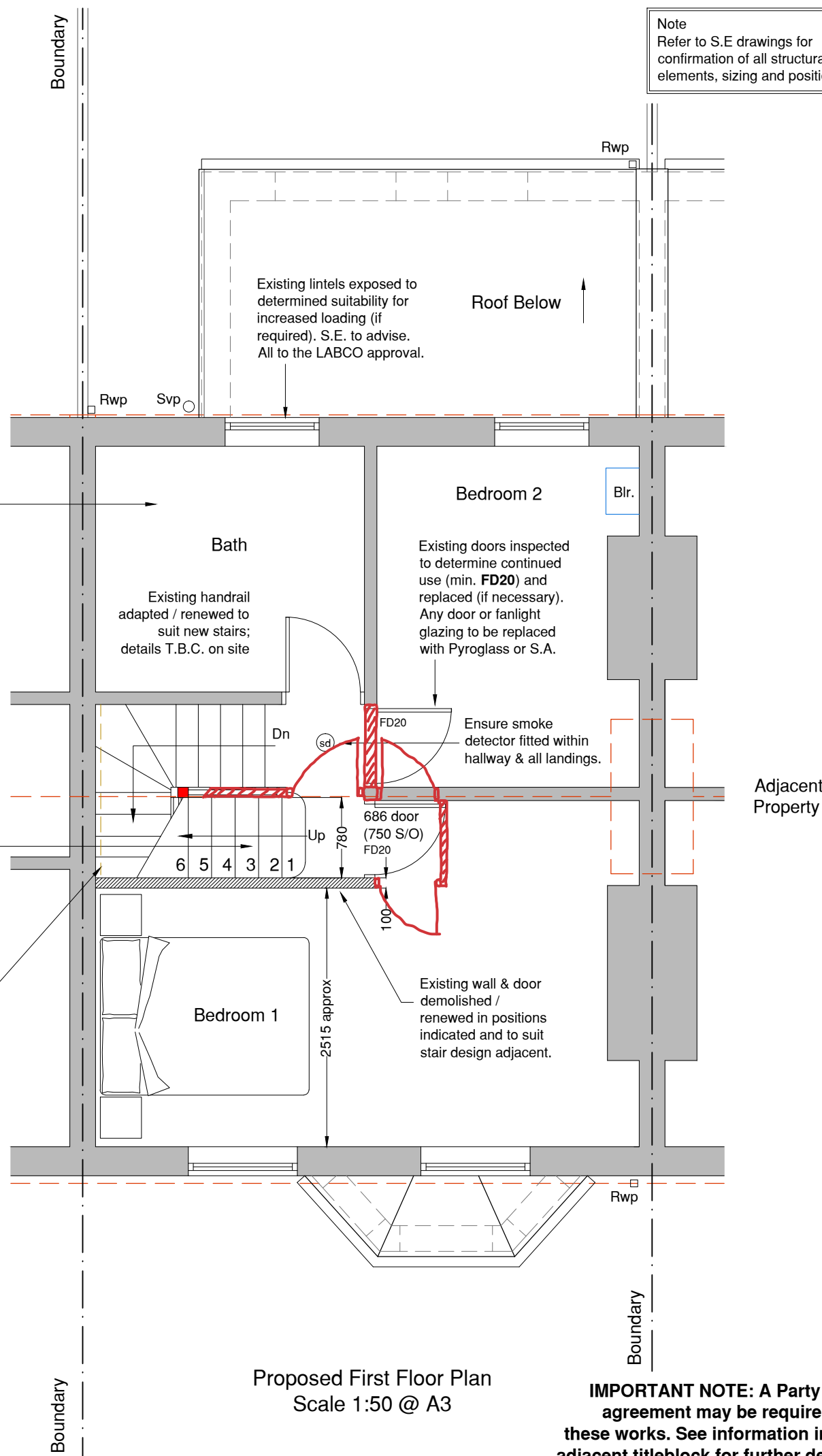
Contractor to ensure floor trimming is positioned to allow sufficient headroom to new stairs below.

Existing wall to receive lining to suit party wall requirements. All to the LABCO approval on site.

S.E. to confirm existing wall, beams and foundations can accept additional loading. LABCO to agree approach.

Adjacent Property

Existing doors inspected to determine continued use (min. FD20) and replaced (if necessary). Any door or fanlight glazing to be replaced with Pyroglass or S.A.



Note
Refer to S.E drawings for confirmation of all structural elements, sizing and positions

Existing lintels exposed to determined suitability for increased loading (if required). S.E. to advise. All to the LABCO approval.

Existing doors inspected to determine continued use (min. FD20) and replaced (if necessary). Any door or fanlight glazing to be replaced with Pyroglass or S.A.

Ensure smoke detector fitted within hallway & all landings.

686 door (750 S/O) FD20

Existing wall & door demolished / renewed in positions indicated and to suit stair design adjacent.

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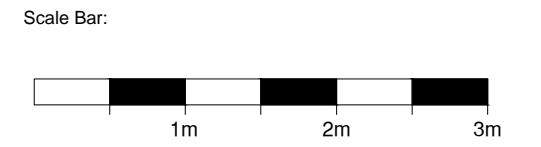
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Web: www.ekplanning.co.uk

Project Title:
**Mr James Snepp,
56 Dairsie Road, Greenwich,
London. SE9 1XH.**

Drawing:
**Loft Conversion
Ground & First Floor Plans
Proposed**

Date: 08/09/2021	Drawing Number:
Scale: 1:100 & 1:50@A3	1274 - 04
Drawn: G.J.O.	Revision: -
Checked: S.W.	

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Note to Contractor:
Dimensions for beam sizes (between party & flank walls) to be taken from these dwg's as opposed to structural engineers plans

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New windows to be in line with first floor windows where possible;

New window sizes and positions to be agreed with client. Sill height to floor to be minimum 850mm and maximum 1100mm or full safety glass. To be openable without the use of a key.

Existing Svp adjusted and to Floplast external air admittance valve (or S.A. system). Connection to be made fully accessible to client. Details T.B.C. on site prior to commencement of works (Class G)

Note: Ensure interlinked smoke detectors are fitted within hallway & all landings with a heat detector installed within kitchen onto the same system. Carbon monoxide detector should be installed adjacent any new boiler.

Note: New Ensuite room waste connected to existing drainage system. Route confirmed on site **PRIOR** to commencement and to the approval of the LABCO.

Party wall lined. See section specification notes for confirmation of build up.

Structural newel post(s) required to support new stair. New newels hung from roof support over or onto existing structure below (T.B.C.). S.E. to advise on all supporting elements.

Adjacent Property

Contractor to ensure floor trimming is positioned to allow sufficient headroom to new stairs below.

Ledge formed within stairwell (see Section).

Existing walls below roof covering (shown dashed)

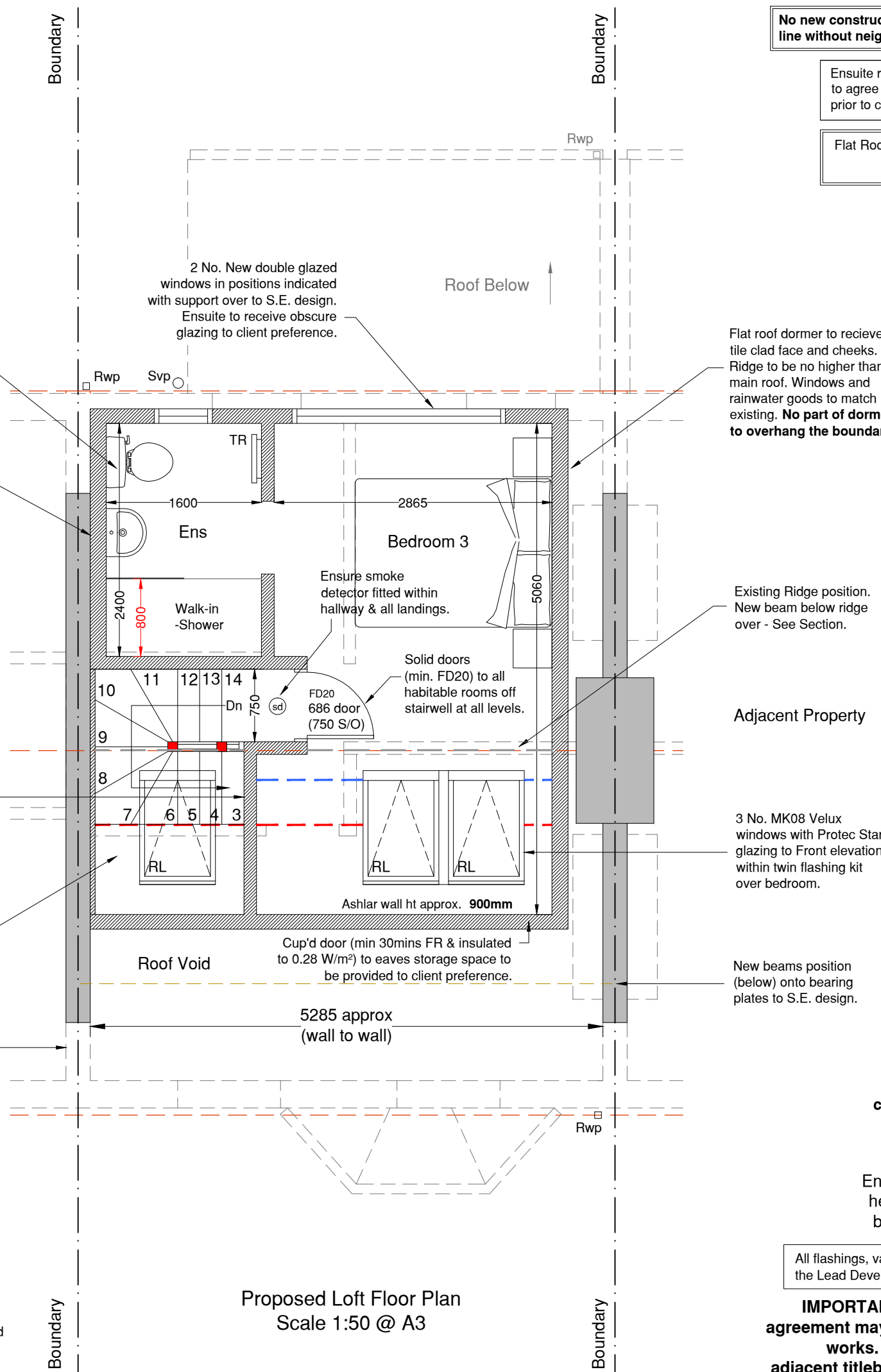
Key (Indicative heights)
 - - - 1500mm high position
 - - - 1800mm high position
 — — — Skeliling Line (See Section)

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Note:
 Any existing loft plumbing, boiler, water tank and pressure vessel locations assessed on site prior to commencement of works and relocated (if necessary) to client preference.

Original Drawing Size A3



No new construction to exceed boundary line without neighbour agreement in place.

Ensuite room layout indicative. Client to agree final design and specification prior to commencement of works

Flat Roof dormer volume = 18.89m³
Total volume = 18.89m³

Flat roof dormer to receive tile clad face and cheeks. Ridge to be no higher than main roof. Windows and rainwater goods to match existing. **No part of dormer to overhang the boundary**

Existing Ridge position. New beam below ridge over - See Section.

Adjacent Property

3 No. MK08 Velux windows with Protec Star glazing to Front elevation within twin flashing kit over bedroom.

New beams position (below) onto bearing plates to S.E. design.

Note to Contractor:
Typical new stair configuration; contractor to carry out survey and provide full details prior to construction
 Ensure min 2000mm head height over existing stairs below & throughout flight

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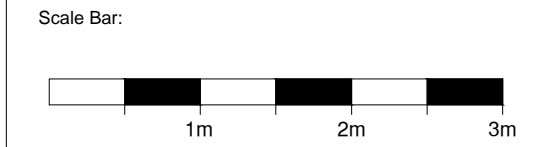
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Project Title:
**Mr James Snepp,
 56 Dairsie Road, Greenwich,
 London. SE9 1XH.**

Drawing:
**Loft Conversion
 Loft Floor Plan
 Proposed**

Date: 08/09/2021	Drawing Number:
Scale: 1:50 @ A3	1274 - 05
Drawn: G.J.O.	Revision: -
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Sloping Ceiling - Beneath pitched roof

(0.16 w/m² k)
Batten out rafters to 175mm overall depth. 125mm Dritherm 32 between rafters. Ensure 50mm air gap between insulation and felt. TLX Silver stapled to the underside and secured with a 38mm cross battens across. Min. 12.5mm plasterboard and 3mm skim finish.

Ashlar Wall (0.28 w/m² k)

100 x 50mm timber studwork @ 400mm c/c's. Min. 60mm (0.032 W/m²K) mineral wool between studs to room side. TLX Silver stapled and secured with a 38mm battens into new studwork. Min. 12.5mm plasterboard and 3mm skim finish.

Dormer Cheeks & Apron (0.28 w/m² k)

100 x 50mm timber studwork @ 400mm c/c's. Min. 75mm Dritherm 32 between studs to ply side with remaining unventilated cavity to room side. TLX Silver stapled and secured with a 38mm battens into new studwork. Min. 12.5mm plasterboard and 3mm skim finish.
Note: See specification for additional fire resistance measures if within 1m of boundary.

Party Wall

100 x 50mm timber studwork @ 400mm c/c's. 65mm Celotex board backed plasterboard and 3mm skim finish; to achieve R_w 50db, to be fixed in accordance with manufacturer's recommendations and dependant on the condition of existing party wall.

Flat Roof Dormer & Horizontal Ceiling (0.18 w/m² k)

EDPM roof finish with flat roof to be supported on joists sized by S.E. (min. 195mm) and fixed at min. 400mm c/c's. 175mm (0.032 W/m²K) mineral wool between joists. Minimum furring thickness to be 30mm to ensure min 50mm air gap between insulation and ply decking. 2mm compressed TLX Silver stapled and secured with 38mm battens to underside. Min. 12.5mm plasterboard and 3mm skim finish.

Existing Floor

First floor construction to achieve full 30 minutes fire protection. Minimum requirement: 21mm T&G flooring on 37mm wide joists with 12.5mm plasterboard ceiling. Further boarding to be laid across floor if necessary, subject to LABCO approval.

New Floor Make-up

22mm waterproof T&G flooring, 100mm Rockwall flexi slab supported on 25mm wire mesh fire barrier to cover entire ceiling. 12.5mm plasterboard under joists to give minimum 30 minutes fire protection and adequate sound insulation.

Flat Roof dormer volume = 18.89m³
Total volume = 18.89m³

Original Drawing Size A3

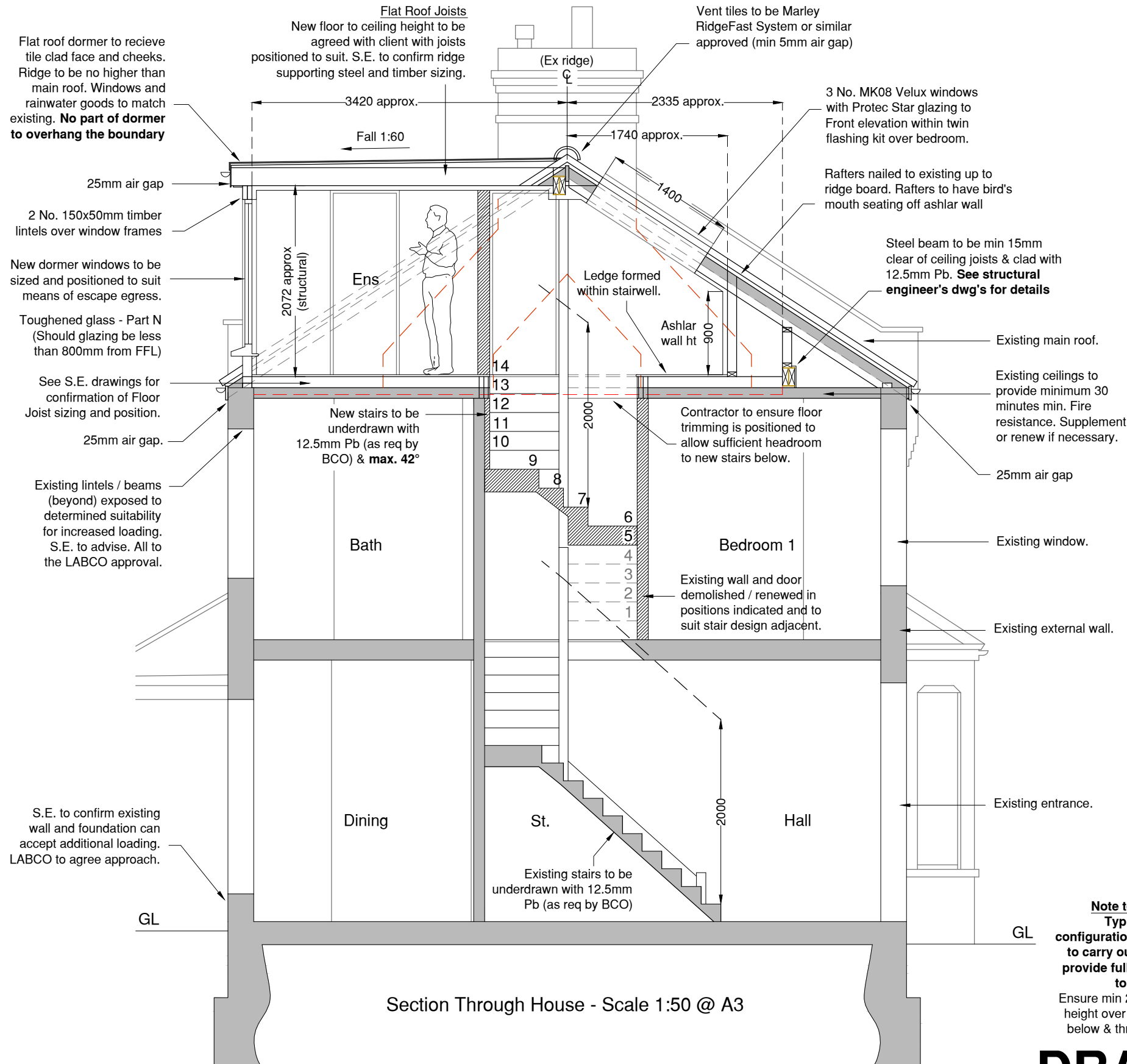
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- 1274-07 B.R. Specification

Note:

All double or treble timbers to be bolted together with M10 bolts or FastenMaster fixed at 500mm c/c's staggered top and bottom



The location of the boundary shall be confirmed and agreed with the adjacent owner. No part of the works shall be constructed so that it effects a trespass upon the adjacent property. All work shall be undertaken in accordance with the Party Wall agreement 'The Party Wall Act of 1996'. An agreement should also be obtained from the adjoining owner in respect to access to neighbouring properties for the purpose of construction.

All work shall be carried out in strict accordance with the British Standard Codes of Practice and respective Manufacturers' Instructions.

The contractor is responsible for maintaining the stability of the structure during the course of the works and as such should satisfy himself as to the condition of the structure prior to commencement of works. Should the contractor deem that temporary works are necessary to enable the works to be carried out safely, then he should employ a suitable qualified person to advise accordingly. The contractor will be responsible for the design and installation of all temporary works.

Where existing walls have been assumed to be load bearing, these are to be checked and confirmed by the structural engineer prior to commencement of works and to the entire satisfaction of the building control officer.

No works should commence until these plans have been approved. Should any works commence or materials ordered prior to the approval notice from the building control officer being issued, then this is done so entirely at the client/contractor's own risk and expense.

All dimensions are to be checked and confirmed on site by the contractor, dimensions are not to be used for the ordering of materials or the preparation of cutting lists.

Construction (Design & Management) Regulations 2015:
Essan-K Planning are appointed only as Principal Designer up to the production of planning & building regulations dwgs. The client, for all future works, will need to be made aware of their duties under the CDM Regulations to appoint a Principal Designer and Principal Contractor or, in the case of domestic projects, for the Principal Contractor to undertake these duties on behalf of the client. See Specification Notes drawing for list of this projects pre-construction CDM requirements. The appointed Principal Contractor (or Client) should agree or supplement this list prior to commencement of any works.

Rev	Date	Description
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PLANNING

Scale Bar:



Essan-K Planning Ltd
Planning & Design Consultants

25 Leney Road, Wateringbury, Kent, ME18 5DQ
Tel: 01622 296319 Email: info@ekplanning.co.uk
Web: www.ekplanning.co.uk

Project Title:

**Mr James Snepp,
56 Dairsie Road, Greenwich,
London. SE9 1XH.**

Drawing:

**Loft Conversion
Section Through House (Typical)
Proposed**

Date: 08/09/2021	Drawing Number:
Scale: 1:50 @ A3	1274 - 06
Drawn: G.J.O.	Revision: -
Checked: S.W.	

Note to Contractor:
Typical new stair configuration; contractor to carry out survey and provide full details prior to construction
Ensure min 2000mm head height over existing stairs below & throughout flight

DRAFT

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