

HERITAGE IMPACT ASSESSMENT

Loft conversion with side dormers and
Rear balcony

**GLENGARRIFF, THE STREET,
BEARSTED**

May 2022

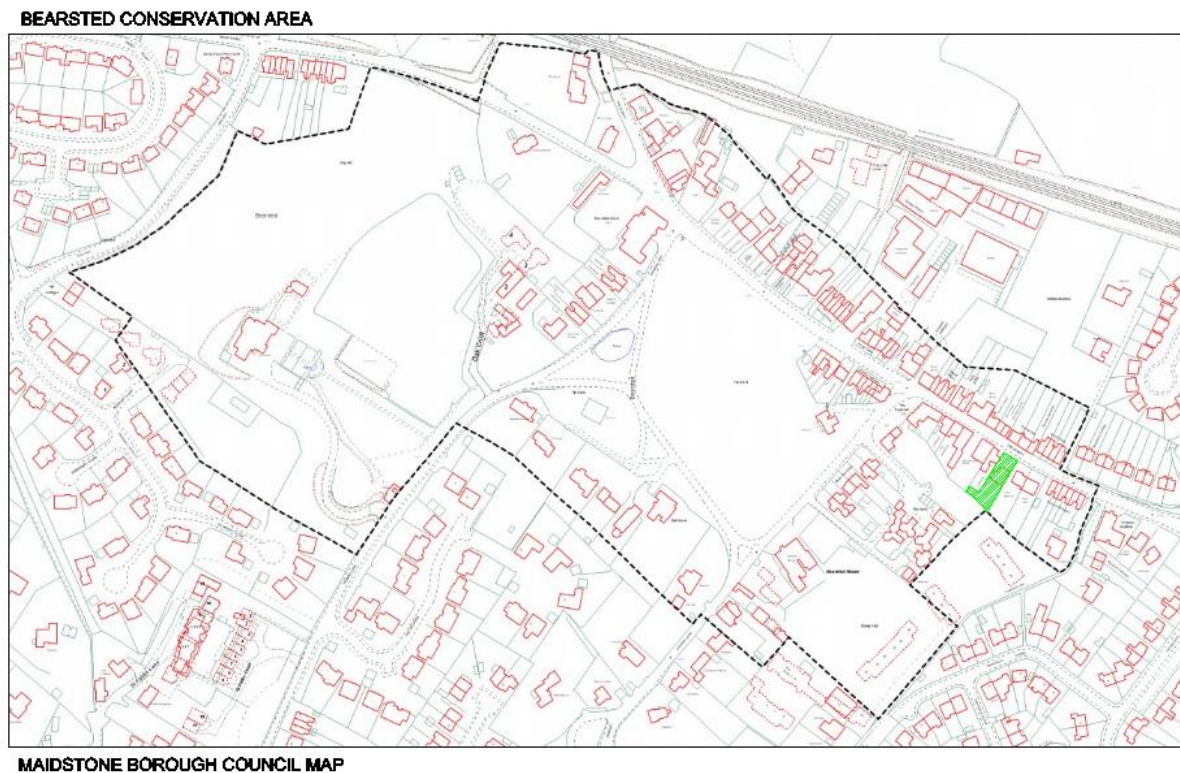
CLIENT Mr K Hall

PREPARED BY Michael Tamsett

1 INTRODUCTION

1.1 A Heritage Impact Assessment is required to accompany the planning application for the introduction of side dormers and rear balcony to facilitate accommodation within a loft conversion to Glengarriff as the site lies within a conservation area and is adjacent to listed buildings.

2 THE SITE



- 2.1 The site lies to the east of the Bearsted (Holy Cross Church) Conservation Area.
- 2.2 Bearsted is located 2.5 miles to the east of the town of Maidstone.
- 2.3 The Bearsted Conservation Area encircles the village green and the fields surrounding Holy Cross Church.
- 2.4 There are many listed buildings within the conservation area.
- 2.5 There are 5 listed buildings within the vicinity of the site.



The map shows 5 listed buildings near the site.

2.6

TQ 85 NW BEARSTED THE GREEN (east side) 6/13 24.5.76 Nos. 3 & 4 The Oasts (**Black Horse Oast and Bryony Oast**) (formerly listed as the G.V. Oasthouses) II

Hop Kilns, now houses. Late C19, converted late C20. Brown brick with dentilled brick eaves cornices and plain tile roofs. Weatherboarded cowls with wind vanes. 4 kilns in L shape with 3 C20 stowage-style extensions, one projecting to east and one to west of No. 4 and one projecting to north of No. 3. Scattered fenestration of C20 wooden casements. C20 half-glazed doors. Part of a group of 8 kilns; see under The Green, Nos. 1 and 2 The Oasts.

Listing NGR: TQ8018455775

2.7

TQ 85 NW BEARSTED THE GREEN (east side) 6/12 Nos. 1 and 2 The 24.5.1976 Oasts (**Mote Hall Oast and Hop Kiln Oast**) (formerly listed as the G.V. Oasthouses) II

Hop kilns, now houses. Late C19, converted late C20. Brown brick with dentilled brick eaves cornices and plain tile roof. Weatherboarded cowls with wind vines. 4 kilns in L shape with 2 C20 stowage-style extensions, one projecting to east of No. 1 and one projecting to north of No. 2. Scattered fenestration of C20 wooden casements. C20 half-glazed-doors; Part of a group of 8 kilns; see under The Green Nos. 3 and 4 The Oasts.

Listing NGR: TQ8016655792

2.8

TQ 85 NW BEARSTED THE STREET (north side) 6/37 **Holly House II** House, now shop. C16? with C18 facade. Red brick facade to possibly timber-framed building with plain tile roof. 2 storeys on stone plinth with plat band. Ridge stack at right end. Probably one timber-framed bay. Single blocked first-floor window. C20 shop front on ground floor.

(Rafter trenched for pegged lapped collar visible to rear of building from Baxter's Cottage (adjoining). Roof at slightly different pitch from that of Baxter's Cottage, but both are significantly lower buildings than those adjoining to right or left.)

Listing NGR: TQ8022055863

2.9

TQ 85 NW BEARSTED THE STREET (south side) 6/40 **The Old Bakery II**

House to right, cottage adjoining to left. Cottage formerly bakery, now part dwelling, part garage. C15, C16 and C17. Plastered timber framing with plain tile roof. C15 hall (truncated to right) and one-bay cross-wing; one-bay late C16 addition behind cross-wing, and late C16 or early C17 cottage of 2 timber-framed bays to left. Single-storey hall, 2-storey cross-wing with low bracketted jetty and hipped roof with gable. Single-storey cottage. Multiple stack between cross-wing and added rear bay. Irregular fenestration of single small 2-light C20 window to hall horizontal sliding casement to ground floor of wing with C20 casement on first floor above it and large C19 shop window to right section of cottage. C20 panelled door to hall, half-glazed door to left of former shop window, garage doors at left end. Added rear bay timber framed with plaster infilling on left side elevation, tile hung end elevation. 2 storeys, formerly jettied on end elevation. Interior: exposed beams, joists and posts. Moulded crown-post at right end of hall.

Listing NGR: TQ8020255853

2.10

TQ 85 NW BEARSTED THE STREET (north side) 6/38 13.11.73 **Baxter's Cottage, Eden Cottage and Kozecot.** (Formerly listed as nos. 1, 2, and 3 Sunnyside, Baxter's Cottage, Eden Cottage and Kozecot.)

II

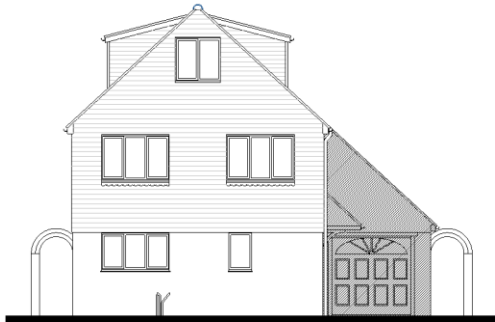
Cottages. C16 and C18. Left part of Baxter's Cottage timber framed with red brick front. Rest of Baxter's Cottage and Eden Cottage chequered red and grey brick, Kozecot rendered, all with plain tile roof. Left part of Baxter's Cottage: a lower building than the rest of the row. C16 with C18 front 2 storeys with plinth and platt band. Ridge stack at left end. One timber-framed bay with single C20 casement to each storey, that to ground floor with segmental head. 2-storey single-bay timber-framed addition to rear, late C16 or early C17, cement rendered with hipped plain tile roof and gable. Right part of Baxter's Cottage, Eden Cottage and Kozecot: C18. 2

storeys and attic with plinth, platt band to Eden cottage only, and eaves cornice. Roof half-hipped at right end and half-hipped at left end above junction with left part of Baxter's cottage. Ridge stack off- centre to right. 2 hipped dormers. One first-floor casement to each cottage over spaces between doors. 3 doors with flat bracketed C19 hoods; ribbed door to Baxter's Cottage at left end, ribbed door to Eden Cottage towards centre, and plain C20 door with diamond light to Kozecot towards right end. Rear catslide roof. Interior: left part of Baxter's Cottage has evidence for window in right gable end wall on first floor of front bay, and exposed beams, joists and posts. Right part of Baxter's Cottage has side purlin roof.

Listing NGR: TQ8050755716

3 PROPOSED LOFT CONVERSION AND BALCONY

3.1 The trussed roof is to be replaced with a cut and pitch roof structure and the existing barn hip is to be removed to enable a window/door to be introduced for the proposed additional accommodation.

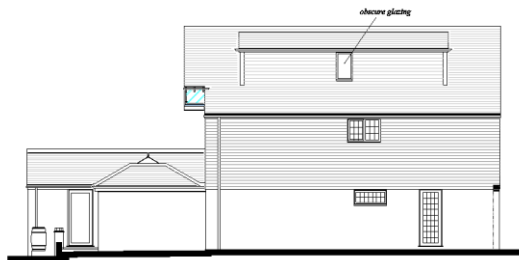


FRONT ELEVATION - PROPOSED



FRONT ELEVATION - EXISTING

3.2 Mono-pitch side dormers will create the additional headroom required.



SIDE ELEVATION (EAST)

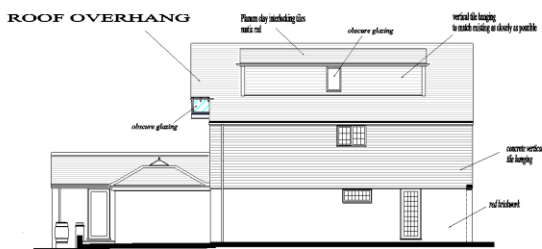


SIDE ELEVATION (WEST)

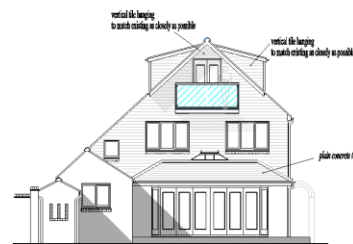
3.3 The dormers are to be set back 1.92m from the front elevation and 1.25m back from the rear elevation.

3.4 The proposed dormers will therefore have minimal impact from the street scene.

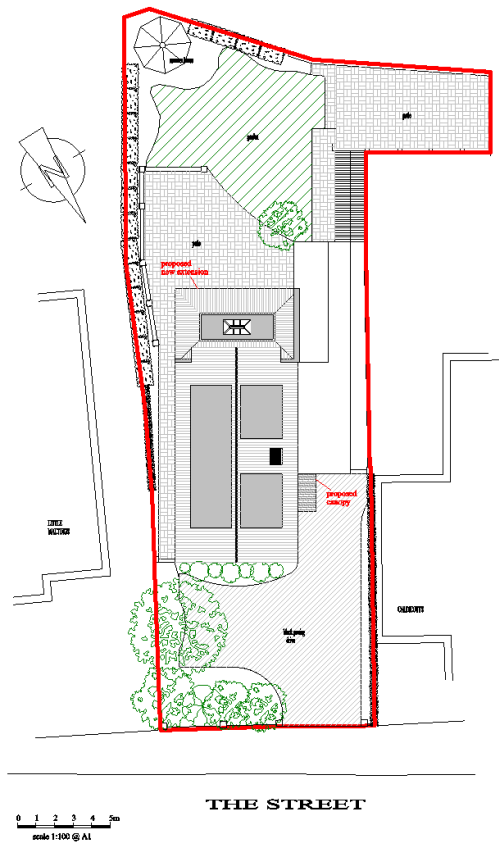
3.5 The roof is to be extended at the rear to provide shelter for the proposed balcony, provide shade from the sun and create a physical screen to the sides ensuring privacy to the neighbouring amenities.



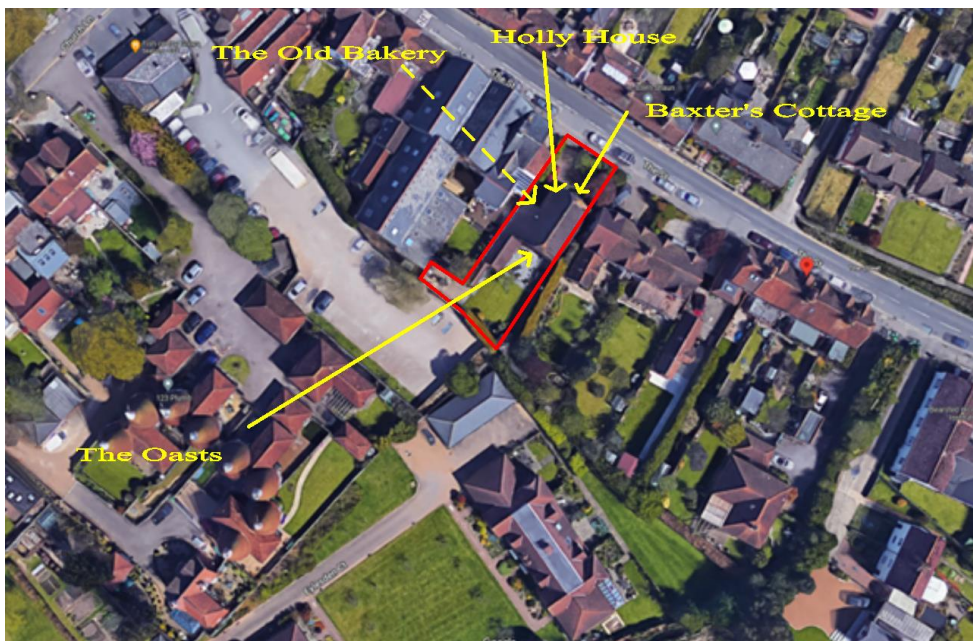
SIDE ELEVATION



REAR ELEVATION



3.6 The adjacent properties of Caldicotts (west) and Little Maltings (east) screen the dormers from all views to the east and west.



Google Map – Views to proposed development from Heritage Assets.

- 3.7 Baxter's Cottage is the closest Listed Building and lies directly opposite. Glengarriff is set back 11.3m from The Street with Baxter's Cottage across The Street a further 11m away.
- 3.8 The proposed development will not have any impact on the setting of Baxter's Cottage and the minor changes consisting of the loss of the barn hip, a window insertion and the dormers set back will have minimal visual impact on the views.
- 3.9 Holly House is further up The Street to the west and the proposed development will have even less impact than that on Baxter's Cottage.
- 3.10 The Old Bakery is completely shielded from Glengarriff with no impact upon it from the proposed development.
- 3.11 The Oasts are some 40m away to the south and it is considered that the proposed development will have negligible affect.
- 3.12 Materials are to match those of the existing. The plain concrete roof tiles are to be re-used with the additional tiles matching as closely as possible. Vertical tile hanging is to be used for the dormer walls and cheeks matching the existing as closely as possible. The dormers are to have clay interlocking roof tiles.

4 CONCLUSIONS

- 4.1 The site lies within a conservation area, but the proposed development will have minimal visual impact on the street scene due to its location, set back from the street, and the minor alterations to the façade.
- 4.2 Due to the considerations set out above, it is considered that the proposed development will have no harmful visual impact upon the neighbouring properties or the settings of the listed buildings.
- 4.3 The design of the proposed development is in character and sympathetic to the surrounding area.
- 4.4 The proposed materials reflect and match those of the surrounding buildings and would provide a building that would be sympathetic and in character to the conservation area.
- 4.5 It is considered that the proposed development will not overwhelm or destroy the character of the host dwelling or the adjacent buildings and character of the area. There would be negligible harmful impact.
- 4.6 With all the above in mind, we urge that you look favourably on the proposed development.