

IMPORTANT NOTE: A Party Wall agreement may be required for these works. See information in the adjacent titleblock for further details

- General notes:  
This drawing must be read in conjunction with the following:
- 1308-01 Plans as Existing
  - 1308-02 Elevations as Existing
  - 1308-03 Elevations as Proposed
  - 1308-04 Ground Floor Plan as Proposed
  - 1308-05 Roof Plan as Proposed
  - 1308-06 Section as Proposed
  - 1308-07 B.R. Specification
  - 1308-08 Typical Drainage Details

The location of the boundary shall be confirmed and agreed with the adjacent owner. No part of the works shall be constructed so that it effects a trespass upon the adjacent property. All work shall be undertaken in accordance with the Party Wall agreement 'The Party Wall Act of 1996'. An agreement should also be obtained from the adjoining owner in respect to access to neighbouring properties for the purpose of construction.

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Rev	Date	Description
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## PLANNING

Scale Bar:



Essan-K Planning Ltd

Planning & Design Consultants

25 Leney Road, Waterringbury, Kent, ME18 5DQ  
Tel: 01622 296319 Email: info@ekplanning.co.uk  
Web: www.ekplanning.co.uk

Project Title:

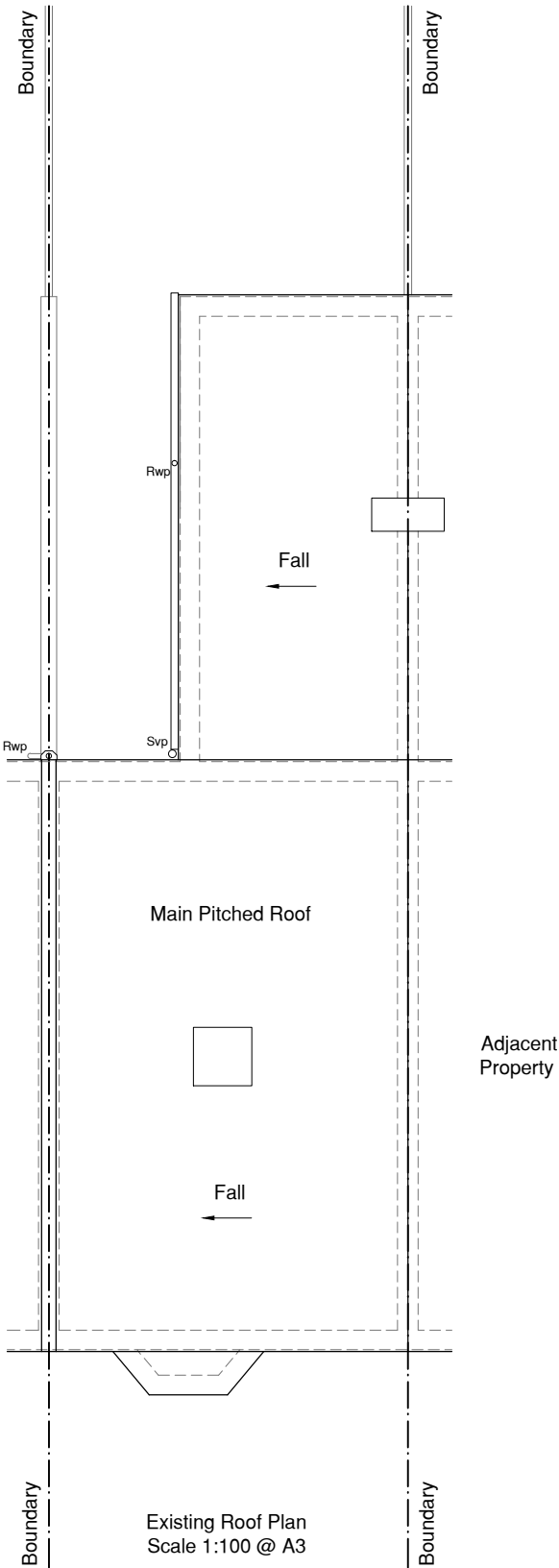
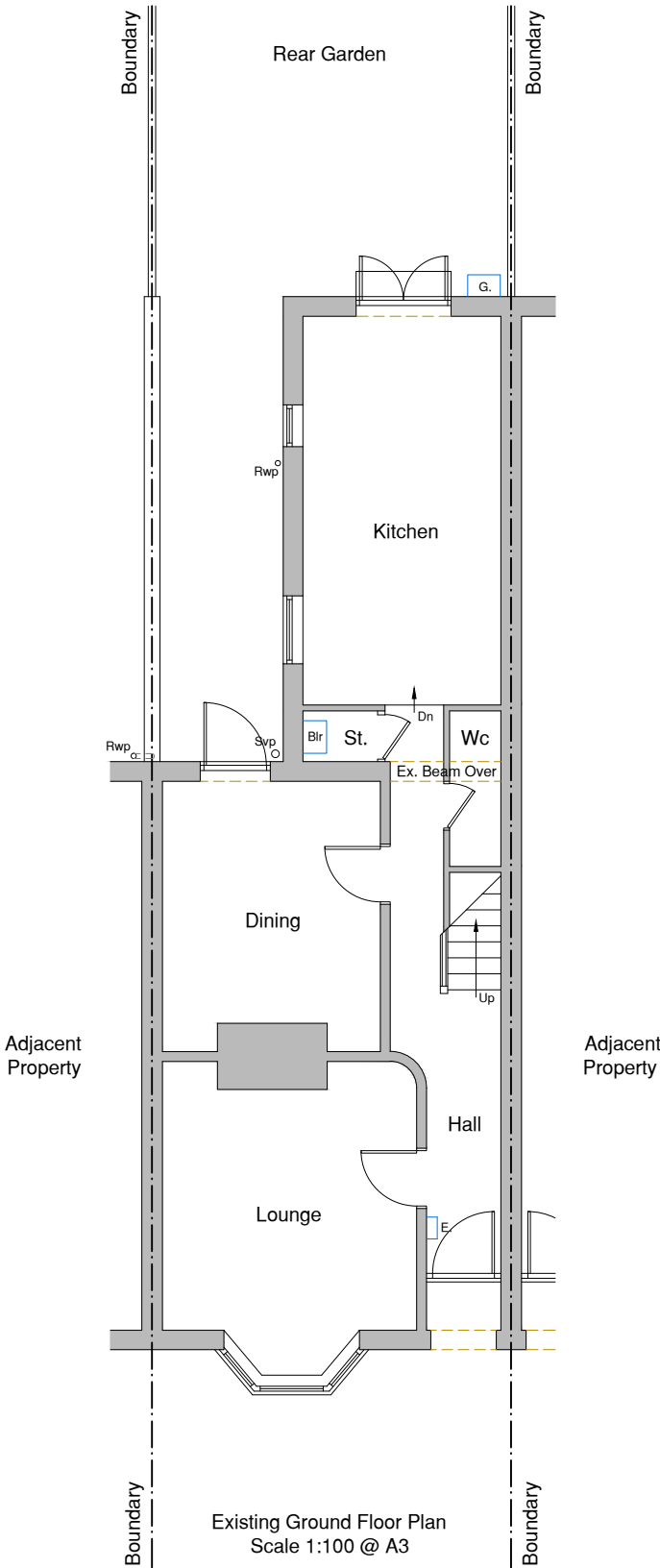
Mr Jason House,  
94 Harbour Street,  
Whitstable, Kent. CT5 1AD.

Drawing:

Single Storey Rear Extension  
Floor Plans  
Existing

Date: 07/12/2021	Drawing Number:
Scale: 1:100 @ A3	1308 - 01
Drawn: G.J.O.	Revision: -
Checked: S.W.	

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All flashings, valleys, drips and  
soakers to the Lead Development  
Associations details

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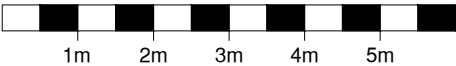
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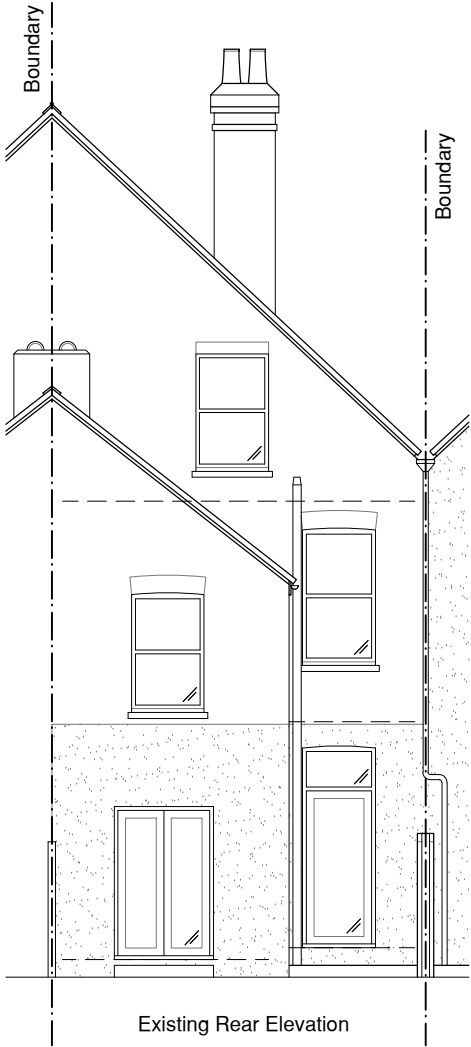
**Mr Jason House,  
94 Harbour Street,  
Whitstable, Kent. CT5 1AD.**

Drawing:

**Single Storey Rear Extension  
Elevations  
Existing**

Date:	07/12/2021	Drawing Number:	
Scale:	1:100 @ A3		<b>1308 - 02</b>
Drawn:	G.J.O.		
Checked:	S.W.	Revision:	-

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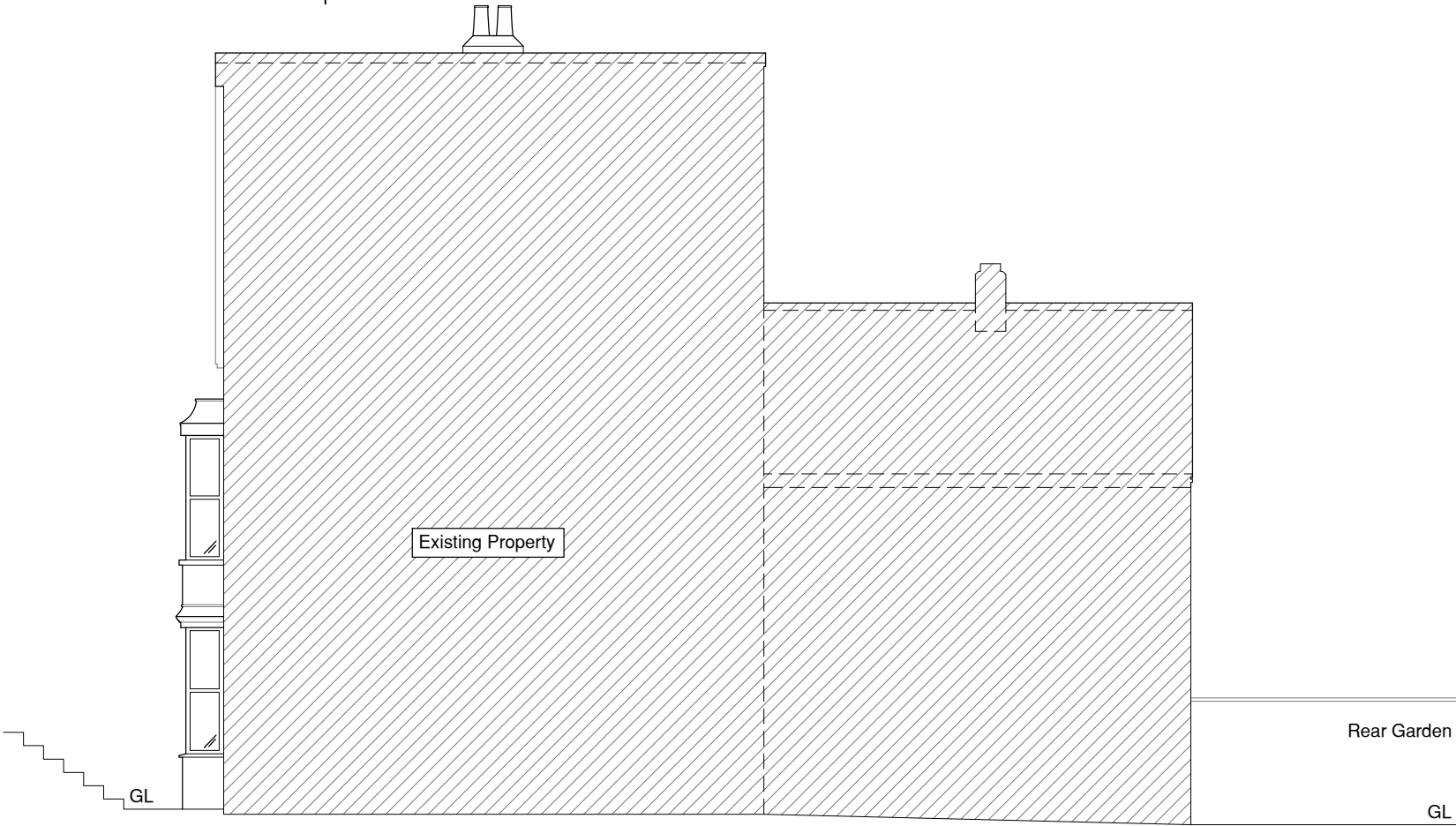


Existing Rear Elevation



Existing Side Elevation

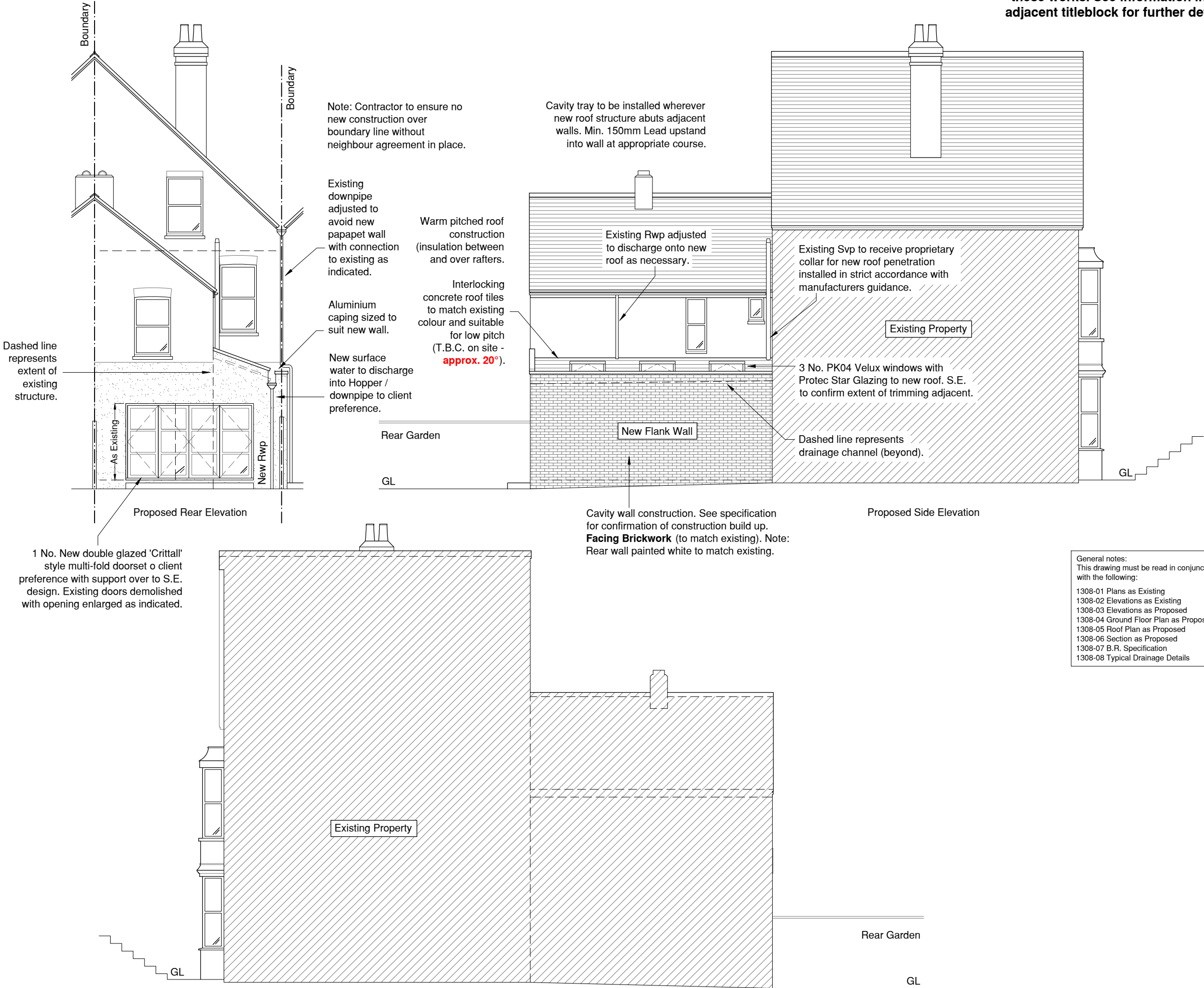
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1308-04 Ground Floor Plan as Proposed  
1308-05 Roof Plan as Proposed  
1308-06 Section as Proposed  
1308-07 B.R. Specification  
1308-08 Typical Drainage Details



Existing Side Elevation

All flashings, valleys, drips and soakers to the Lead Development Associations details

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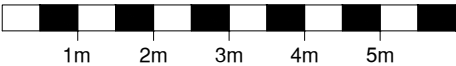
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A	01.04.22	Drawing adjusted to suit Client comments.
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Rev	Date	Description
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Project Title:

Mr Jason House,  
94 Harbour Street,  
Whitstable, Kent. CT5 1AD.

Drawing:

Single Storey Rear Extension  
Elevations  
Proposed

Date:	07/12/2021	Drawing Number:
Scale:	1:100 @ A3	1308 - 03
Drawn:	G.J.O.	Revision: A
Checked:	S.W.	

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**Important Note:**  
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**No work is to be commenced until site dimensions have been checked & discrepancies reported**

Newly formed surface water drainage to be laid to the LABCO approval on site and is to be connected to a new soakaway sited minimum 5.0m from any building subject to site investigation by the contractor prior to the commencement of works.

Note - where new cavity wall abuts existing house either:

- 1) install new vertical damcor insulated dpc dressed into saw cut to existing wall;
- or
- 2) expose and join existing and new wall construction for continuation of cavity.

10mm movement joint between new wall and existing to be filled with fosroc expandfoam compressible filler and pointed with fungicidal silicone mastic to match brick colour.

New wall to be tied to existing external walls using ancon staifix universal wall starter system installed in accordance with manufacturers written instructions.

Note: Ensure interlinked smoke detectors are fitted within hallway & all landings with a heat detector installed within kitchen onto the same system. Carbon monoxide detector should be installed adjacent any new boiler.

Extract fans added to new Kitchen & Wc areas (wall or ceiling mounted with exhaust ductwork to external walls or via new roof over) - should none be present. Position and any duct route T.B.C. on site and agreed with client.

Proposed Ground Floor Plan  
Scale 1:50 @ A3

**Note**  
Refer to S.E drawings for confirmation of all structural elements, sizing and positions

General notes:  
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- 1308-02 Elevations as Existing
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- 1308-05 Roof Plan as Proposed
- 1308-06 Section as Proposed
- 1308-07 B.R. Specification
- 1308-08 Typical Drainage Details

Note: All dimensions to structural frame / wall positions. Any dimensions shown **RED** are from internal finishes

Note:  
It is the contractors responsibility to locate electrical cabling, drainage & mains gas pipework on site.

Original Drawing Size A3

New RWPs to be provided with rodding access plate and to discharge to soakaway (min. 1:40 falls)

If adjacent (existing) floor is suspended ensure continuation of ventilation path via airbricks on new external facade via below ground pipework to LABCO approval.

Dashed lines represent 3 No. PK04 Velux windows with Protec Star Glazing to new roof over to be fixed in strict accordance with manufacturers instructions. S.E. to confirm extent of trimming adjacent.

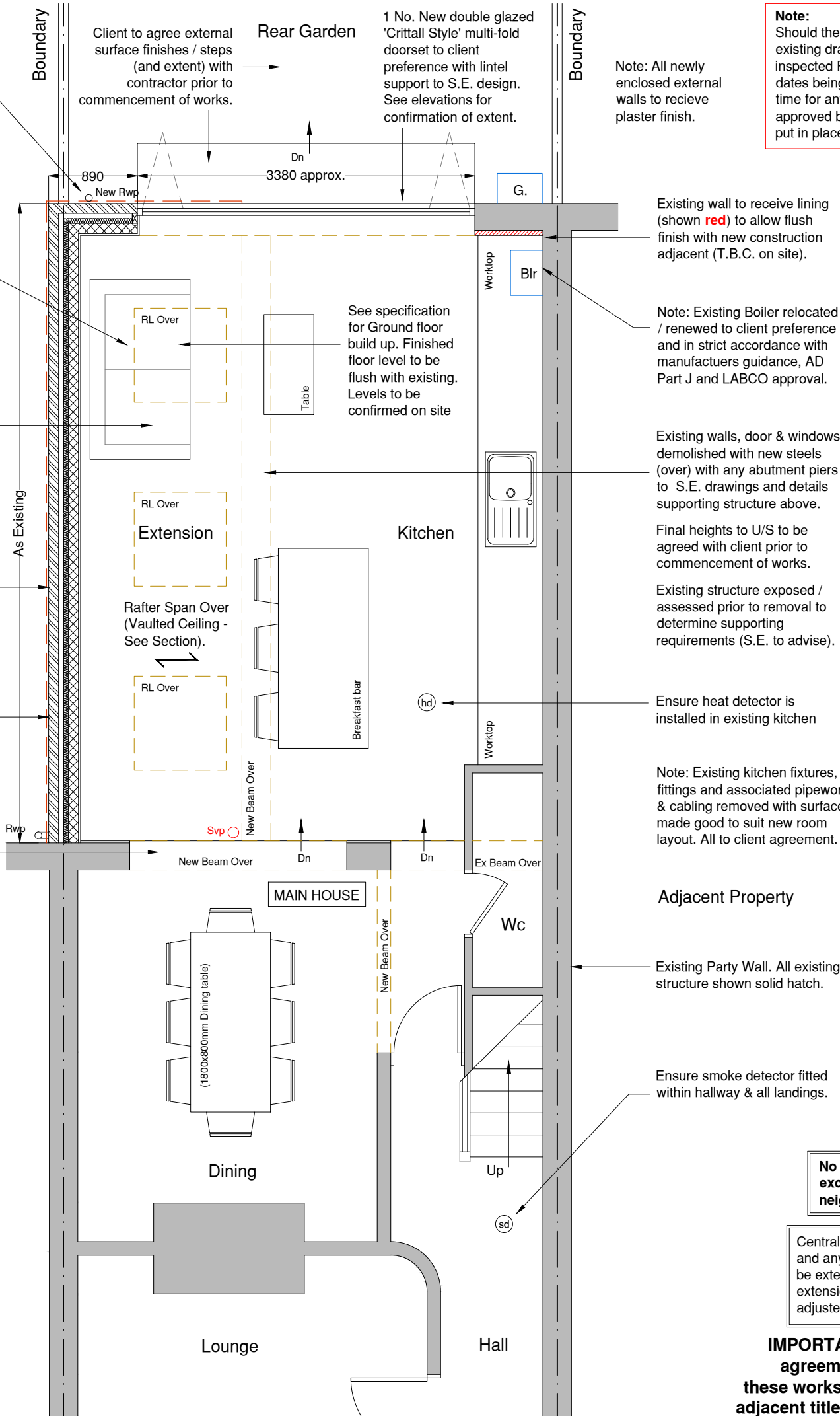
New Floor: 150mm O/A beam & block flooring system as designed by specialist supplier with minimum 150mm (ventilated) void directly beneath adequately treated as necessary.

Cavity wall construction. **Facing Brickwork** to match existing. See specification for confirmation of construction build up. **Note:** S.E. to confirm movement joint locations to LABCO approval.

New walls typically supported by centrally loaded trench foundations (S.E. to confirm). All to the approval of the LABCO. **Note:** Adjust level of foundations to suit ground levels and conditions if required.

Existing door demolished (opening enlarged) with beam over to S.E. design to suit roof position over. New step formed to match existing style adjacent.

Adjacent Property



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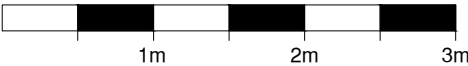
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A	01.04.22	Drawing adjusted to suit Client comments.
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PLANNING

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Web: www.ekplanning.co.uk

Project Title:  
**Mr Jason House,  
94 Harbour Street,  
Whitstable, Kent. CT5 1AD.**

Drawing:  
**Single Storey Rear Extension  
Ground Floor Plan  
Proposed**

Date:	07/12/2021	Drawing Number:	
Scale:	1:50 @ A3		<b>1308 - 04</b>
Drawn:	G.J.O.	Revision:	A
Checked:	S.W.		

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Newly formed surface water drainage to be laid to the LABCO approval on site and is to be connected to a new soakaway sited minimum 5.0m from any building subject to site investigation by the contractor prior to the commencement of works.

Note - where new cavity wall abuts existing house either:

1) install new vertical damcor insulated dpc dressed into saw cut to existing wall;

or

2) expose and join existing and new wall construction for continuation of cavity.

10mm movement joint between new wall and existing to be filled with fosroc expandfoam compressible filler and pointed with fungicidal silicone mastic to match brick colour.

New wall to be tied to existing external walls using ancon staifix universal wall starter system installed in accordance with manufacturers written instructions.

Note: Ensure interlinked smoke detectors are fitted within hallway & all landings with a heat detector installed within kitchen onto the same system. Carbon monoxide detector should be installed adjacent any new boiler.

Extract fans added to new Kitchen & Wc areas (wall or ceiling mounted with exhaust ductwork to external walls or via new roof over) - should none be present. Position and any duct route T.B.C. on site and agreed with client.

Proposed Roof Plan  
Scale 1:50 @ A3

**Note**  
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- 1308-08 Typical Drainage Details

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Note:  
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Original Drawing Size A3

New surface water to discharge into Hopper / downpipe and ultimately to soakaway sized / positioned to LABCO approval (T.B.C. on site).

3 No. PK04 Velux windows with Protec Star Glazing to new roof to be fixed in strict accordance with manufacturers instructions. S.E. to confirm extent of trimming adjacent.

Lead lined valley (laid to min 1:80 falls to rear) at junction of pitched roof and parapet wall upstand with min. 60mm insulation between perpendicular furrings to prevent condensation risk.

Aluminium capping over new wall (sized on site to suit O/A construction width).

Contractor to expose existing structure to determine requirement for cavity tray at new abutment from extension roof. Cavity tray added in all locations where practicable. Provide min. 150mm Lead upstand chased into existing wall at appropriate course.

Warm pitched roof construction (insulation between and over rafters - No eaves or abutment ventilation required). Interlocking concrete roof tiles to match existing colour with pitch T.B.C. on site (**approx. 20°**).

New Rwp / hopper

Rafters sized / positioned to suit span onto min. 100x50mm S.W. wall plate. See S.E. drawings for size / position.

Any existing Rwp within extension extent adjusted to discharge onto new roof below.

Main Roof Adjacent

Existing Svp to receive proprietary collar for new roof penetration installed in strict accordance with manufacturers guidance.

Note: Existing Svp route adjusted (below roof level) with new connection to existing drainage system to LABCO approval (T.B.C. on site).

All flashings, valleys, drips and soakers to the Lead Development Associations details

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A	01.04.22	Drawing adjusted to suit Client comments.
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Rev	Date	Description
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Project Title:

**Mr Jason House,  
94 Harbour Street,  
Whitstable, Kent. CT5 1AD.**

Drawing:

**Single Storey Rear Extension  
Roof Plan  
Proposed**

Date:	07/12/2021	Drawing Number:	
Scale:	1:50 @ A3		<b>1308 - 05</b>
Drawn:	G.J.O.		
Checked:	S.W.	Revision:	A

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**No new construction to exceed boundary line without neighbour agreement in place.**

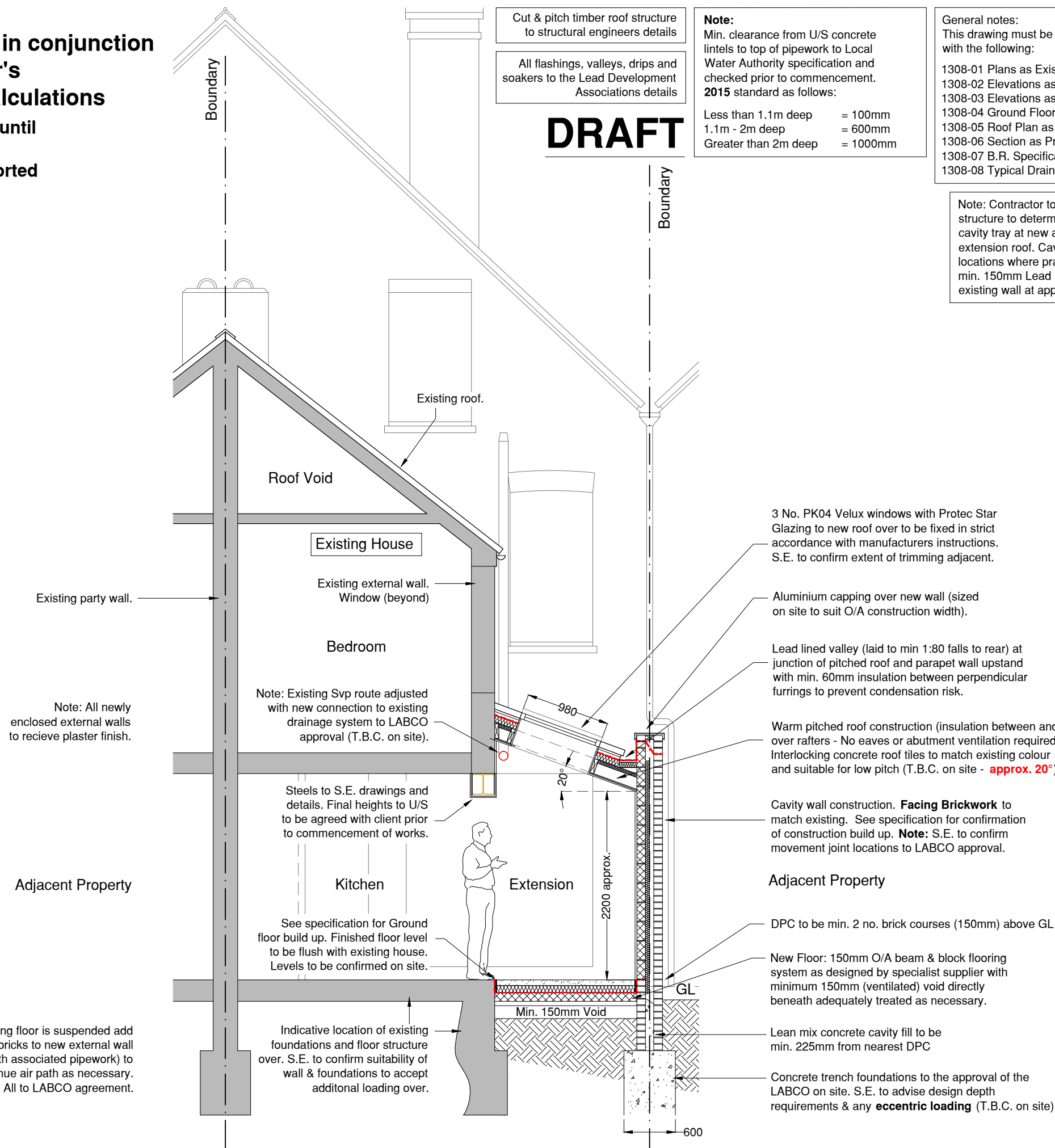
Central heating and electrical wiring and any other applicable services to be extended from main house into extension. Existing switches/sockets adjusted to suit new layout.

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with structural engineer's  
drawings/details and calculations

No work is to be commenced until  
site dimensions have been  
checked & discrepancies reported

**Note:**  
Should the new works be built near an  
existing drainage route. This is to be  
inspected PRIOR to commencement  
dates being agreed to allow sufficient  
time for any design adjustment to be  
approved by the LABCO or agreements  
put in place with the local water authority.



Cut & pitch timber roof structure  
to structural engineers details

All flashings, valleys, drips and  
soakers to the Lead Development  
Associations details

DRAFT

**Note:**  
Min. clearance from U/S concrete  
lintels to top of pipework to Local  
Water Authority specification and  
checked prior to commencement.  
**2015** standard as follows:  
Less than 1.1m deep = 100mm  
1.1m - 2m deep = 600mm  
Greater than 2m deep = 1000mm

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**Note:** Contractor to expose existing  
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cavity tray at new abutment from  
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### PLANNING

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1m 2m 3m



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Project Title:  
**Mr Jason House,  
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Whitstable, Kent. CT5 1AD.**

Drawing:  
**Single Storey Rear Extension  
Section Through House (Typical)  
Proposed**

Date: 07/12/2021	Drawing Number:
Scale: 1:50 @ A3	<b>1308 - 06</b>
Drawn: G.J.O.	Revision: A
Checked: S.W.	

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**Note**  
Refer to S.E drawings for confirmation of all  
structural elements, sizing and positions

Section Through House - Scale 1:50 @ A3

**Note:**  
Adjust level of foundations to suit  
ground levels and conditions if required.