

Drawing Specific Notes:

Where named products are proposed on these drawings, the manufacturer's typical details should be adhered to in the first instance, from which these details have been drawn. If there is found to be a discrepancy between the drawings and the manufacturer's details, the PM must be informed by the contractor prior to proceeding. The manufacturer's details will take precedence and should be followed unless otherwise agreed.

Red dimensions and text indicate setting out notes.

Foundations and ground floor designs to be amended as necessary in accordance with LABC/ NHBC guidance for building on clay soils near trees.

Structural Engineers details are to take precedence with all specifications.

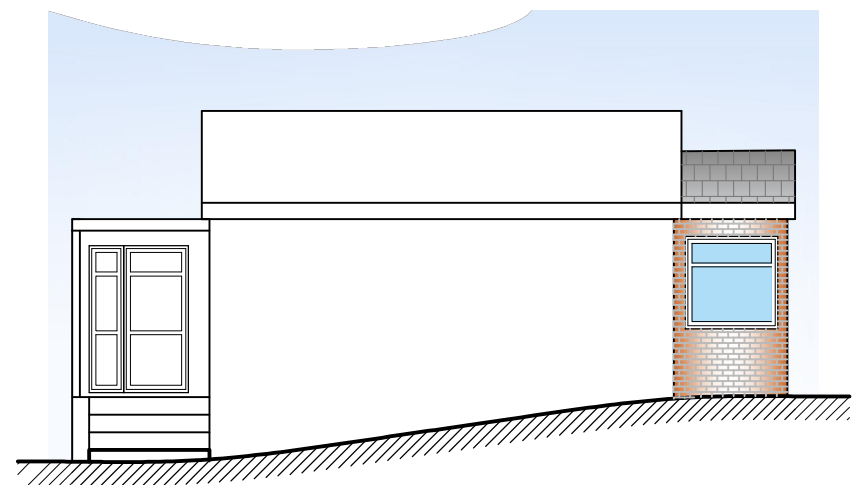
Mains operated linked smoke alarm detection system to BS EN 14604 and BS 5839-6:2019 to at least a Grade D category LD3 standard. System to be mains powered with battery back up. Smoke alarms should be sited so that there is a smoke alarm in the circulation space on all levels/storeys and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (Kite Marks) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

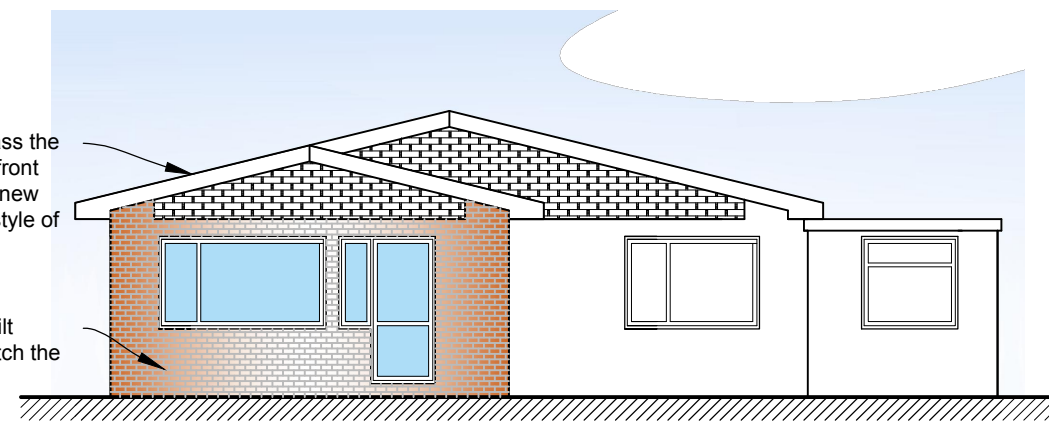
The extension should meet the following Minimum U values
 Wall 0.18 W/m²K
 Roof 0.15 W/m²K
 Floor 0.18 W/m²K

All dimensions and particulars are to be checked on site before work commences and any discrepancy to be reported to PM Home Consultants. This drawing can be scaled for Planning purposes. **DO NOT SCALE** this drawing for setting out, use written dimensions only. Any work commenced before Council approval is at the Clients risk

The drawing must be read in conjunction with all other related drawings and documentation.



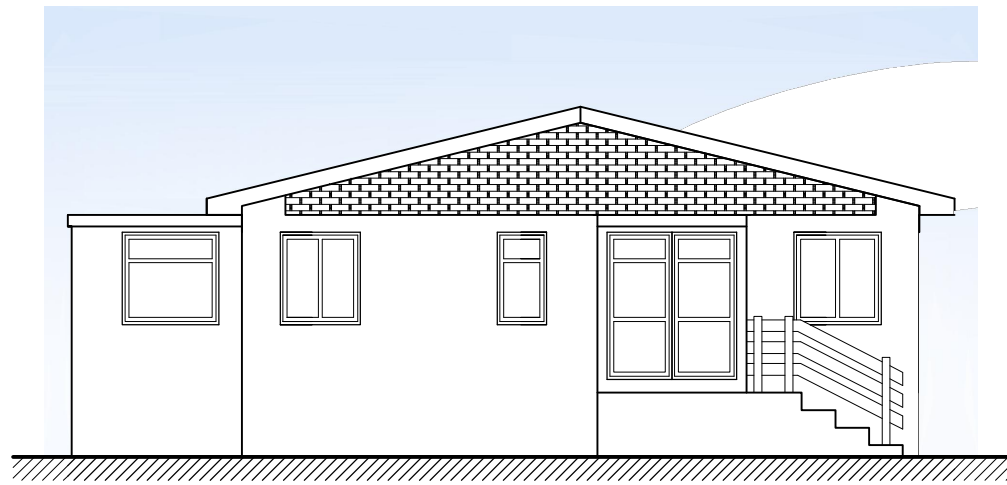
01 Side Elevation - As Proposed
3000 1:100 (at A3)



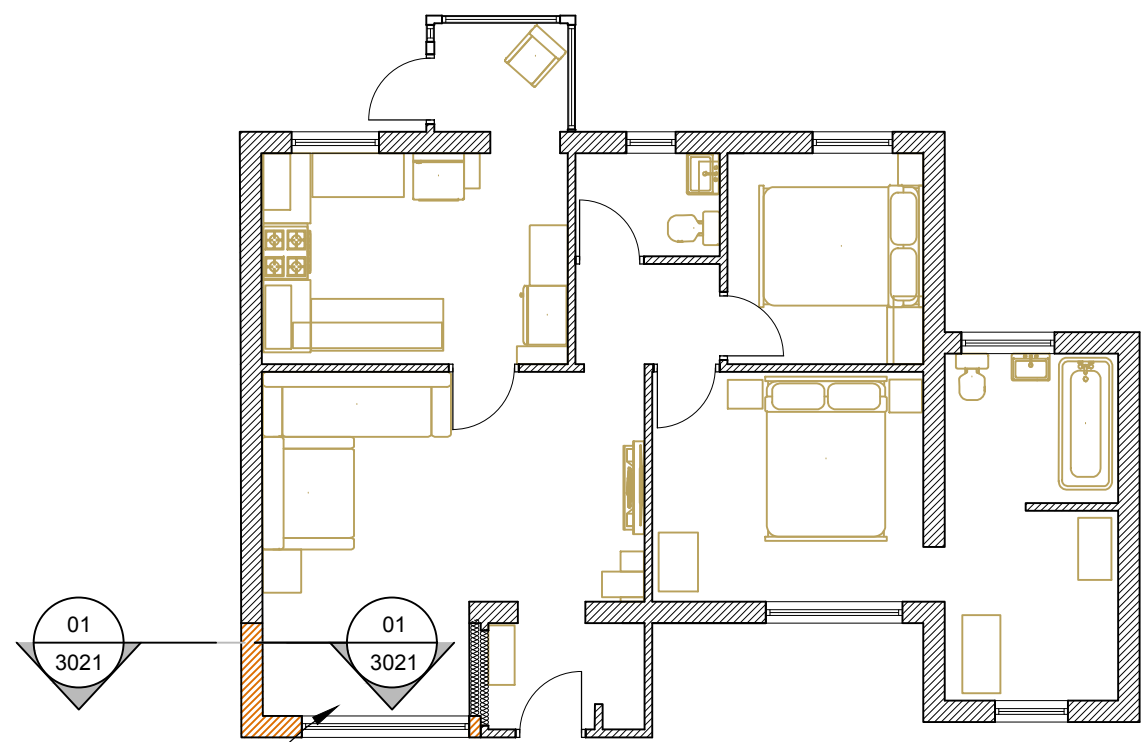
04 Front Elevation - As Proposed
3000 1:100 (at A3)

Pitched roof to encompass the existing porch and new front extension to ensure the new extension matches the style of the existing structure

New extension to be built using materials that match the existing dwelling

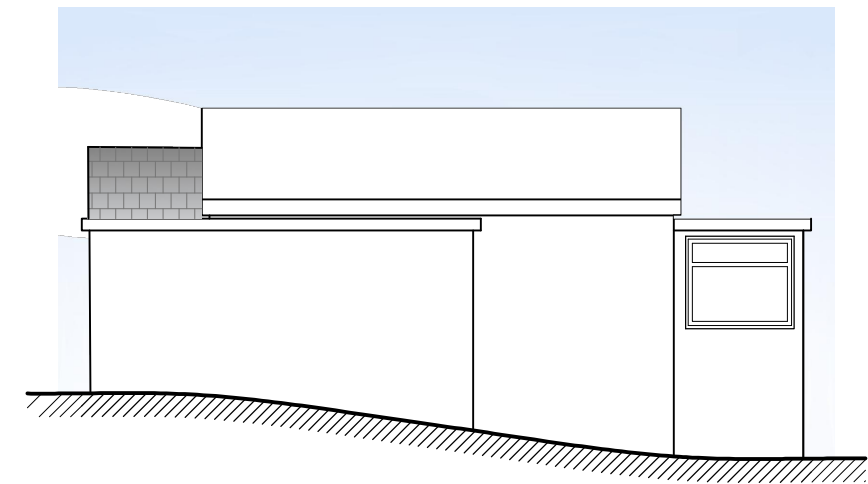


02 Rear Elevation - As Proposed
3000 1:100 (at A3)

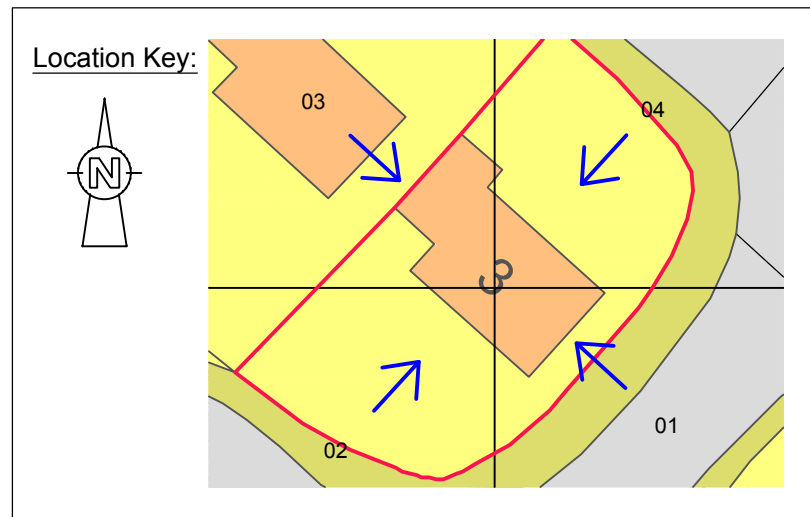
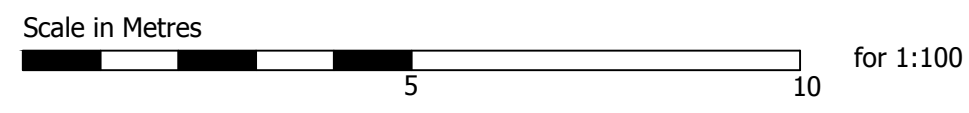


05 Ground Floor Plan - As Proposed
3000 1:100 (at A3)

Front extension to 'square off' the front elevation



03 Side Elevation - As Proposed
3000 1:100 (at A3)



PM Proteus Management
Home Extension Consultants

Project:
Front extension at 3 Penmaes, Rhayader, LD65PN

Drawing Title:
Proposed Floor Plans and Elevations

Drawing Number: 3000	Date: 20/08/23	Revision: A
Scale: (at A3) 1:100	Status: Planning	
Client: Mrs Ann Fell		