



Planning, Design and Access Statement, Heritage Impact Assessment and Tree Survey

Property / Land at:	Unit A3, Loc8, Ashford Road, Maidstone, Kent, ME17 1XG
Application Proposal:	New ground floor windows and doors and the installation of tenant signage.
On Behalf Of:	Hitachi Construction Machinery UK
Our Reference:	171034/RAS/RS
Agent:	Ruairi Sweeney

1 Introduction

This Design and Access Statement is submitted on behalf of Hitachi Construction Machinery UK in support of the proposal to give additional detailed information to officers and consultees dealing with the application and to inform the general public, neighbours and others with an interest in the proposal about the development.

The application is comprised of the following plans and documents:

- This Planning, Design and Access Statement
- Location Plan
- Detailed elevations of the proposals

2 The Site: Location

The application site (outlined red on the Location Plan) address is Unit A3, Loc8, Ashford Road, Maidstone, Kent. The subject property is located at the western boundary of a wider commercial development, namely Lo8 Maidstone which lies to the west of M20 Junction 8. Running to the north of the site are the M20 motorway and the High-Speed Rail line between London and the Channel Tunnel. To the south and southeast of the site are Ashford Road (A20) and Musket Lane respectively.

3 Constraints

Woodcut Farm, which includes Woodcut Farmhouse (a Grade II Listed building), is located to the northwest (shown on Figure 1 below).

The Kent Downs Area of Outstanding Natural Beauty (AONB) is located to the north beyond the M20 and High-Speed Rail Line.

There are 5 no. tree preservation orders (TPOs) along Musket Lane to the southeast. In addition, the trees adjacent to Woodcut House, to the west and north of the site also have a TPO (shown in Figure 2 below).

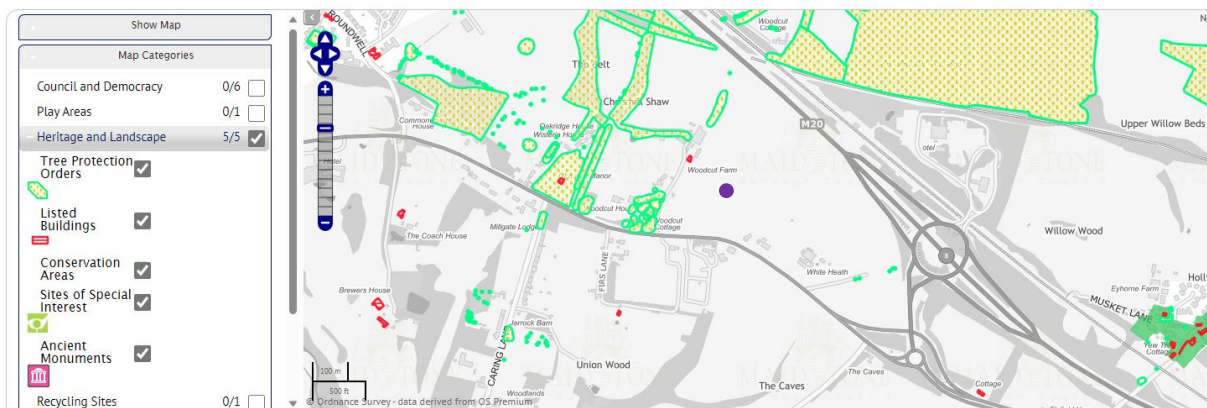


Figure 1 Plan identifying TPOs (identified in green) and Listed Buildings (identified in red). The application site is identified by the purple dot. (Source; Maidstone Borough Council 2023).

4 The Application Proposal: Design and Access

In brief, the proposed alterations to the site inc. –

5.1 North Elevation

- (i) Forming 1no. opening and fitting a new personnel door to match the existing on the west elevation.

5.2 East Elevation

- (i) Removing existing GF windows and replacing with double doors and fitting of canopy above all works to match the existing on the east elevation.
- (ii) Forming 2no. openings and fitting new GF windows to match the existing.
- (iii) Installing new tenant signage.

5 Assessment and Justification of the Application – Heritage Impact Assessment and Tree Survey

In terms of this application, the main issues to be addressed are the impact on the character and appearance of the area and sustainable design.

The proposed changes are both localised and limited in scope and have been designed to not directly impact on the Grade II Listed Heritage asset.

Whilst there are trees adjacent to the site, the proposed works are to the existing building and will not affect the land surrounding it or the building's foundations. Consequently, a formal Tree Survey does not accompany this application.

Further to Section 4 of this document, the proposals have been carefully designed and materials have been carefully chosen to match the existing where possible with minimal impact on the nearby Grade II Listed heritage asset, Kent Downs AONB and the trees that are subject to TPOs.

In addition, the reserved matters application 20/505182/REM and Outline Application 17/502331/OUT previously dealt with the constraints stated in Section 3 of this document. The subject property and the wider commercial development have been built and the proposed works stated in this document will make no changes to the constraints. When viewed next to the wider commercial development the proposed works are believed to be de-minimis.

6 Summary

The existing site and surrounding areas have been carefully assessed to create a proposal which not only meets the client brief and requirements, but also in a way that does not impact adversely on the setting or significance of the nearby Grade II Listed Heritage asset, Kent Downs AONB and the trees that are subject to TPOs.

We feel the proposed works stated in this document are believed to be de-minimis when viewed next to the subject property and the wider commercial development that have received planning permission and have been built.